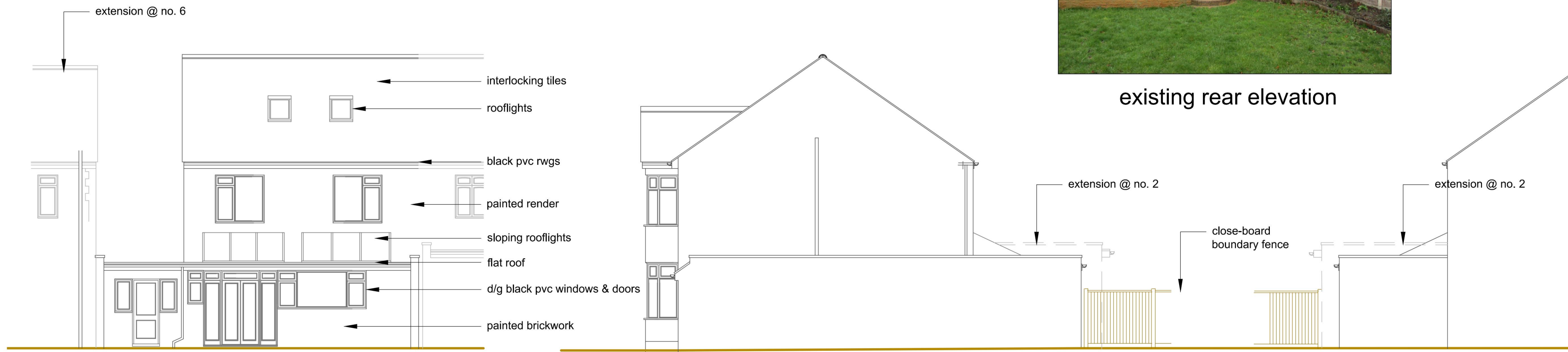




existing rear elevation

existing side elevation

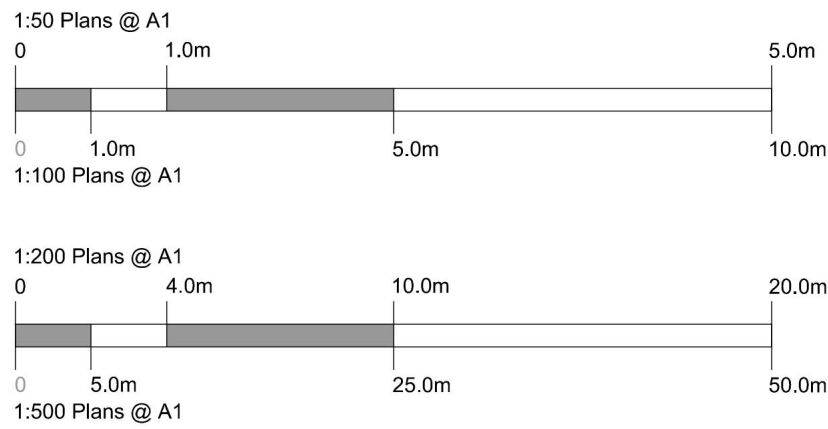
existing side elevation



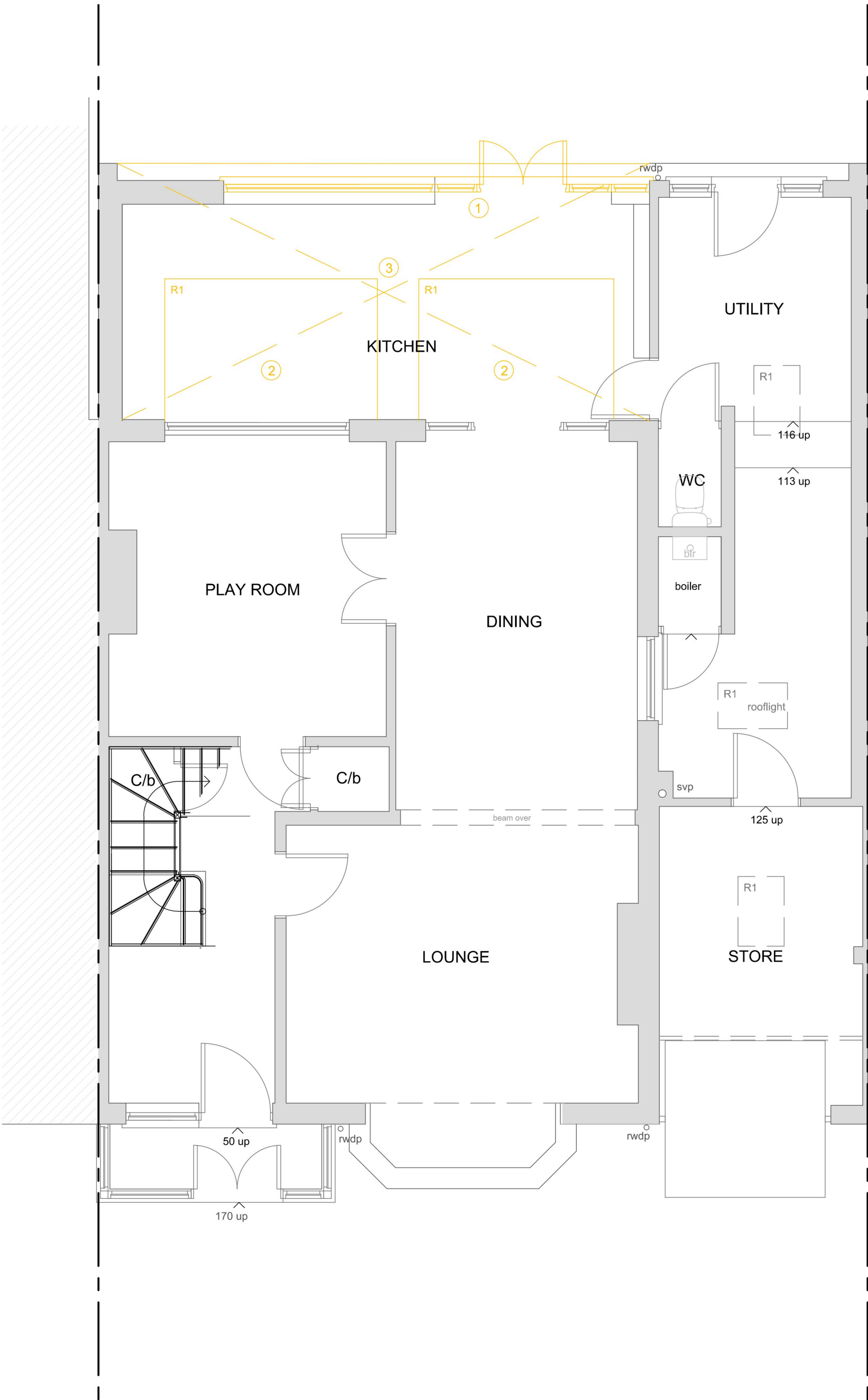
existing rear elevation



block plan 1:500

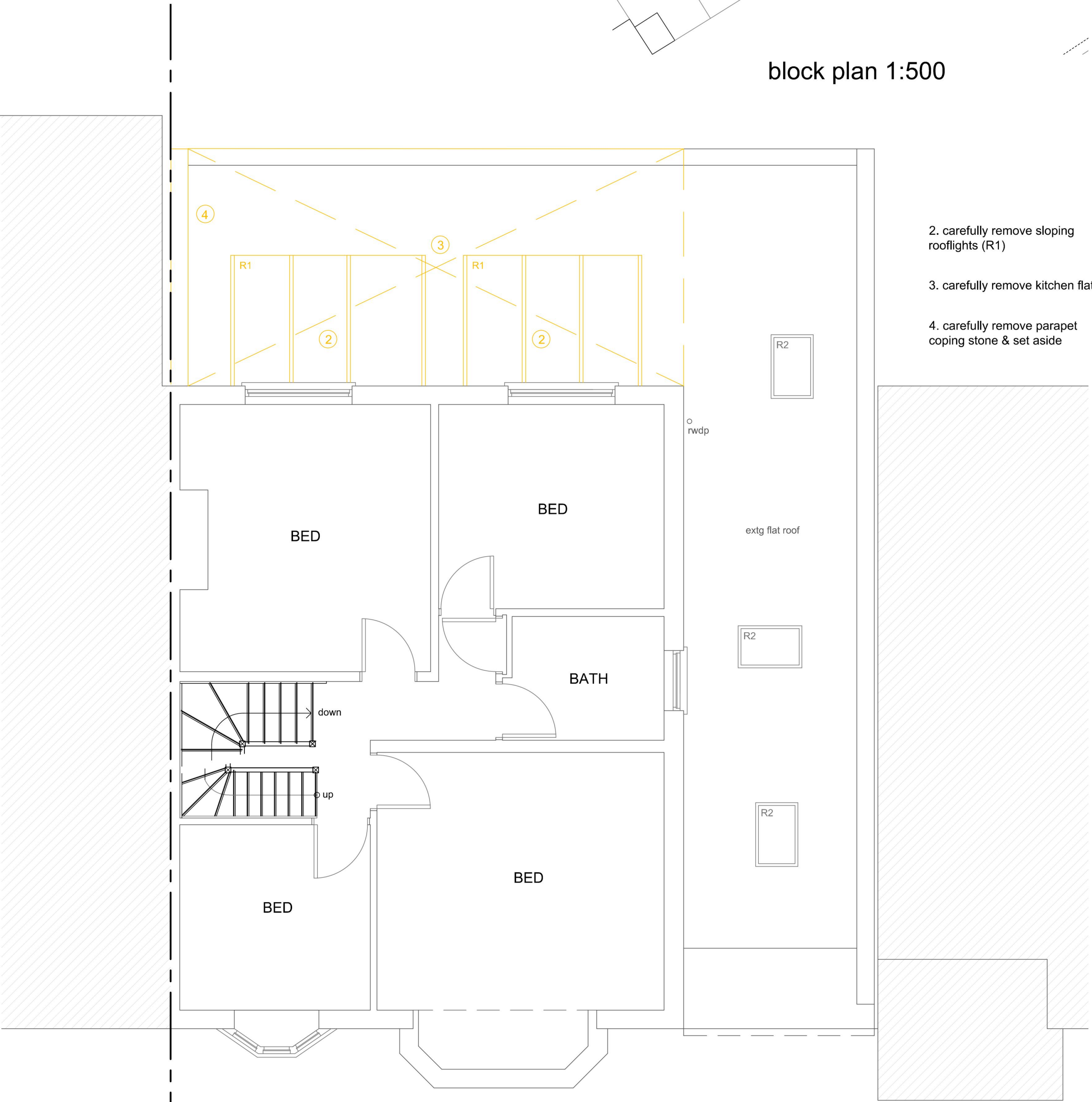


site plan 1:1250



extg ground floor plan

- carefully remove extg windows & doorset, allow for temporary support to roof over
 - carefully remove sloping rooflights (R1)
 - carefully remove kitchen flat roof
- R2 - extg flat rooflights



extg first floor plan

- carefully remove sloping rooflights (R1)
- carefully remove kitchen flat roof
- carefully remove parapet coping stone & set aside

B.	Revision	Date
A.		

Client:
Mr & Mrs S Jenkins

Project:
Kitchen flat roof raised

Address:
4 Fairholme Avenue
Gidea Park
RM2 5UU

Drawing title:
Existing plans & elevations

Date:
Mar 2026

Scale:
1:100, 1:50 @ A1

Dwg no.
4FA/12/2020S - 1

Drawing status
draft submitted approved

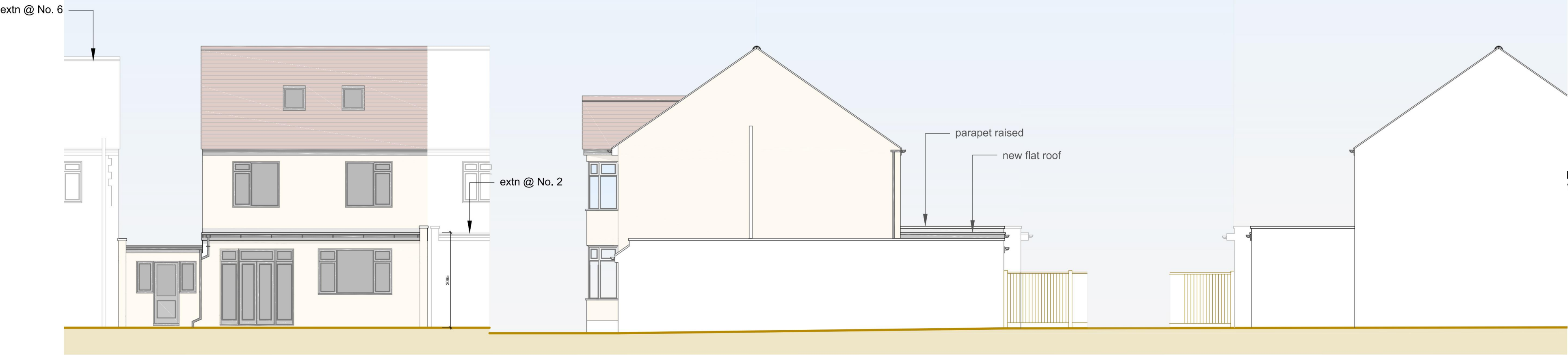
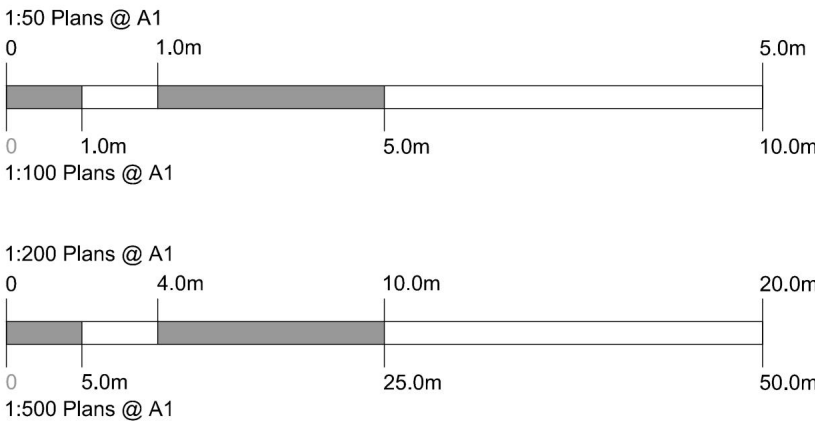
Planning Permission
☒

Building Regulations
☒

Any works carried out prior to Planning Permission &/or Building Regulation Approval are undertaken entirely at the householders / contractors own risk. Please note, stated dimensions are subject to tolerances of +/- 50mm



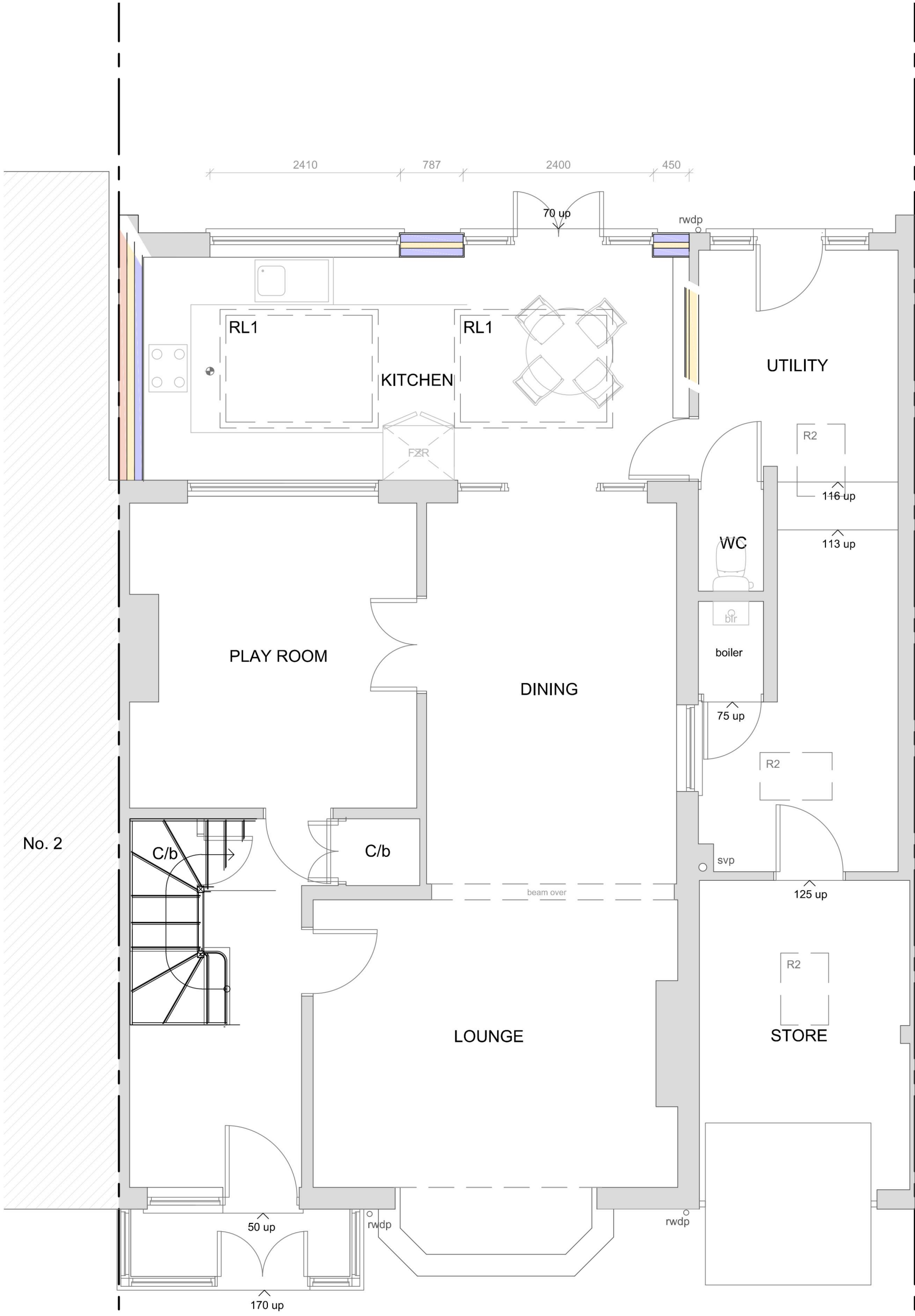
1. DO NOT SCALE THIS DRAWING - work to figured dimensions only.
2. It is the contractors responsibility to check ALL Dimensions and confirm accuracy of all measurements on site any variations notified to agent for approval.
3. The contractor shall confirm all levels and the position of services on site prior to commencement of works and report any discrepancies immediately.
4. This drawing is to be read in conjunction with all other relevant drawings and Engineers design / details.
2. © COPYRIGHT RESERVED



proposed rear elevation

proposed side elevation

proposed side elevation



proposed ground floor plan

no part of building to encroach over boundary

builder to check and agree exact position of boundary at commencement of works with client

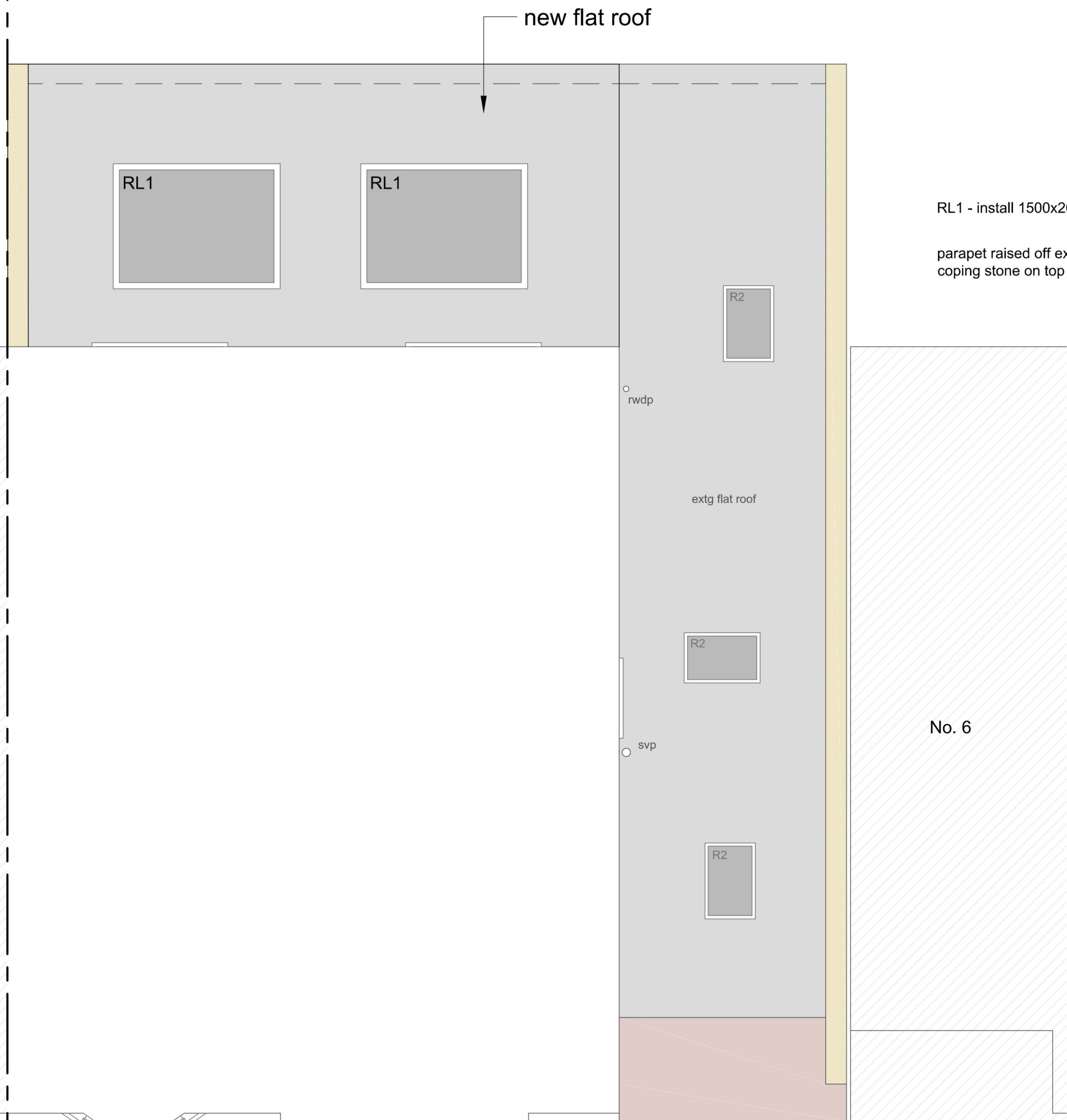
kitchen layout/design/appliances to clients specification

piers built off extg walls & insulated to match extg

internal wall raised with 50x125 C24 sw stud wall to u/s of roof deck & insulated with pir between + inside studs

RL1 - 1500x2000 d/g flat rooflights by specialist

parapet wall raised off extg walls & insulated to match extg with coping stone on top



proposed roof plan

RL1 - install 1500x2000 d/g flat rooflights by specialist

parapet raised off extg wall & insulated to match extg with coping stone on top

B.
A. Revision Date

Client:
Mr & Mrs S Jenkins
Project:
Raise flat roof
Address:
4 Fairholme Avenue
Gidea Park
RM2 5UU

Drawing title:
Proposed plans & elevations

Date: **Mar 2026** Scale: **1:100, 1:50 @ A1**

Dwg no. **4FA/12/2020S - 2**

Drawing status **draft submitted approved**

Planning Permission ☒

Building Regulations ☒

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