



No 1 Tudor Avenue

Design and Access Statement

Revision A (Issue for Planning)

Introduction

The purpose of this application is to provide some additional and more flexible accommodation to the existing property by means of a simple single storey side extension, an enclosed porch and summer house to the bottom of the garden which will be used as a Gym.

Planning History

Previously there has been a flat roof single storey extension to the rear which we are proposing to retain and integrate with the new design. Whilst the proposal does not increase the depth of the existing extension it will create a built form across the width of the plot which is why we are applying for planning permission.

Involvement

Due to the proximity of the extension and the fact the existing property is at the end of the street the proposal will not have any effect on the neighbours' either side although the client has spoken briefly with the neighbour's and no adverse comments were received.

Design

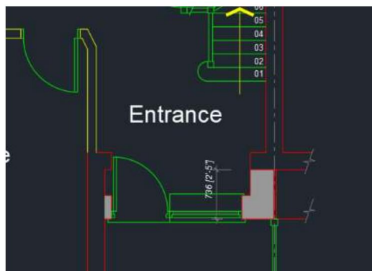
The design intent is to ensure the proposal sits comfortably and appropriately in its setting. The design being single storey does not detract from the original house and is clearly subservient to the original property. The area where the new extension is being considered is at present unused other than for the refuse bins, the space is dark and uninviting, being shielded from the sun by the adjacent property's garage.





By infilling this area with built form we create a separate utility area, and by relocation of the office, remove the need to go through the living area to reach the rear of the property, which allows better planning of the existing interior space.

By pulling the external wall forward, this creates more space internally. The neighbouring property has already done something similar so this will balance the two properties.



The addition of the out-building at the bottom of the rear garden is to replace the existing timber summer house shown below. This is to serve a number of uses, to include an art studio, Gym and as an incidental, a platform for 12 solar panels which will be linked to the house, which itself is to have further panels and battery storage to the side helping the property to become more self sufficient.

Also note in the photo extracts to the right, the neighbours large out-building that already exists in the property to the rear of the proposal.



Therefore the demolition of the existing summer house and creation of a new out-building will have little to no impact other than to shield the view of the neighboring roof.





Use

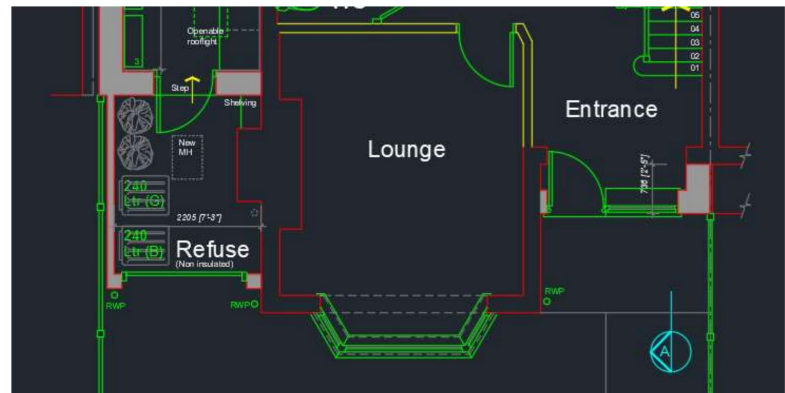
The proposal retains the residential use that the existing property enjoys and due to the proximity of the proposed extension and the quiet enjoyment of this will have no detrimental impact on the neighboring properties.

Amount

Careful consideration to the size of both extension and out-building has ensured that a large percentage of the property's curtilage is retained as soft landscaping. The proposed out-building is not significantly deeper than that of the existing summer house and although full with of the garden there is already hard standing to this area suggesting previous structures which have been taken down.

The proposed extension does not project any deeper than the original existing extension and occupies an area which is already concreted over so no further hardscaping will be necessary.

The extension has also been set back from the projecting gable at the front of the property to so it presents itself as an extension rather than part of the original house.



Layout

At present, there are a number of problems with the internal layout of the existing property. The office, which is used daily, looks onto the blank wall of the neighbours garage. Given the garden offers a much better environment, the new proposal makes use of the outside space whilst still being separate from the living area.

At present the living area is used as a corridor into the kitchen. By relocating the office it is now possible to gain access to the kitchen directly from the hall. With the introduction of a utility area, small workshop and store as well as the office, the proposed will offer a much better proposition than the current unused area. It is also worth noting that due to the projection of the chimney, this side area cannot be used to park a car in as it is too narrow, so there is really no loss of any usable existing space.

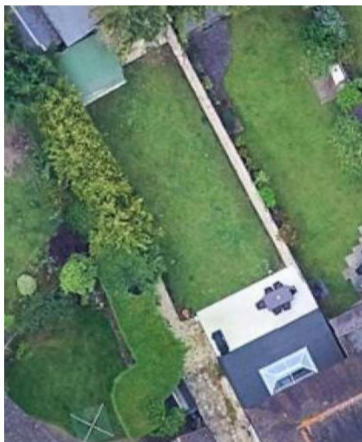


Scale

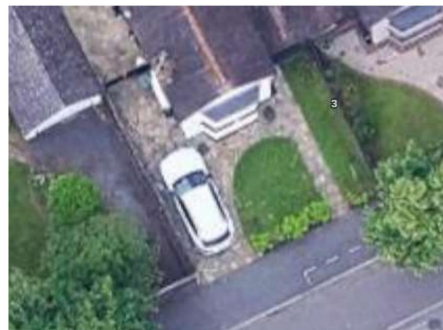
Both the proposed extension and the out-building are a single storey. Due to the fact the extension is located on what is concrete hardstanding already and the new footprint of the out-building is only marginally larger than the existing hardstanding the scale of these proposals are very minimal.

Landscaping

As noted above when discussing the scale, very little soft landscaping will be lost with this proposal. The rear garden is mainly laid to lawn with a conifer hedge in front of the existing summer house and with the new proposal this will be maintained albeit trimmed to suit the new building outline.



The front garden will remain as it is with a small grass area and planting to the front behind the dwarf wall. The parking arrangements will also remain as is.





Appearance and Materials

The reasoning behind the choice of materials and articulation of the fenestration is to respect the original property. The extension will be rendered to match the existing and doors and windows chosen to match the style and pattern of the windows in black UPVC.

The extension roof will be finished in a fibre cement slate tile for the length of the main property due the minimal slope of the roof and then transfer into a flat roof to match the style and height of the existing extension.



The out-building will be constructed in timber frame and fully insulated to make it an inviting place to be through all seasons. This will be clad in a pre-finished vertical cladding with Black UPVC windows and doors to match the main house.





Access

The application has retained the ability to park vehicles in front of the property allowing people to alight without having to park on the street.

The new front door is sized sufficiently to meet the needs of a wheelchair as defined by current Building Regulations and with the relocation of the front wall there will be room to turn a wheelchair around in the entrance. All new doors to the ground floor are to be sized to facilitate a wheelchair.

There are to be no steps to the side extension thus making the ground floor wheelchair accessible in all areas.

The purpose of the above is with a vision that we are not just providing living accommodation for the family, but encouraging other family members to visit who maybe older or infirm so that the property becomes more inclusive than the current design.

Conclusion

The proposal has been designed to be respectful to the neighbouring properties by appearance and scale, fitting in well with the streetscape. The amount is not overbearing yet still retains the level of accommodation which is required for the applicant. The placement of the rooms, the access and proposed layout enhance the security, useability and means of access and indeed of egress in case of fire which all work to the betterment of the property and family using it.