

51, PETERBOROUGH AVENUE, UPMINSTER, HAVERING, RM14 3LL



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0100031673 Created using Plans by Emapsite

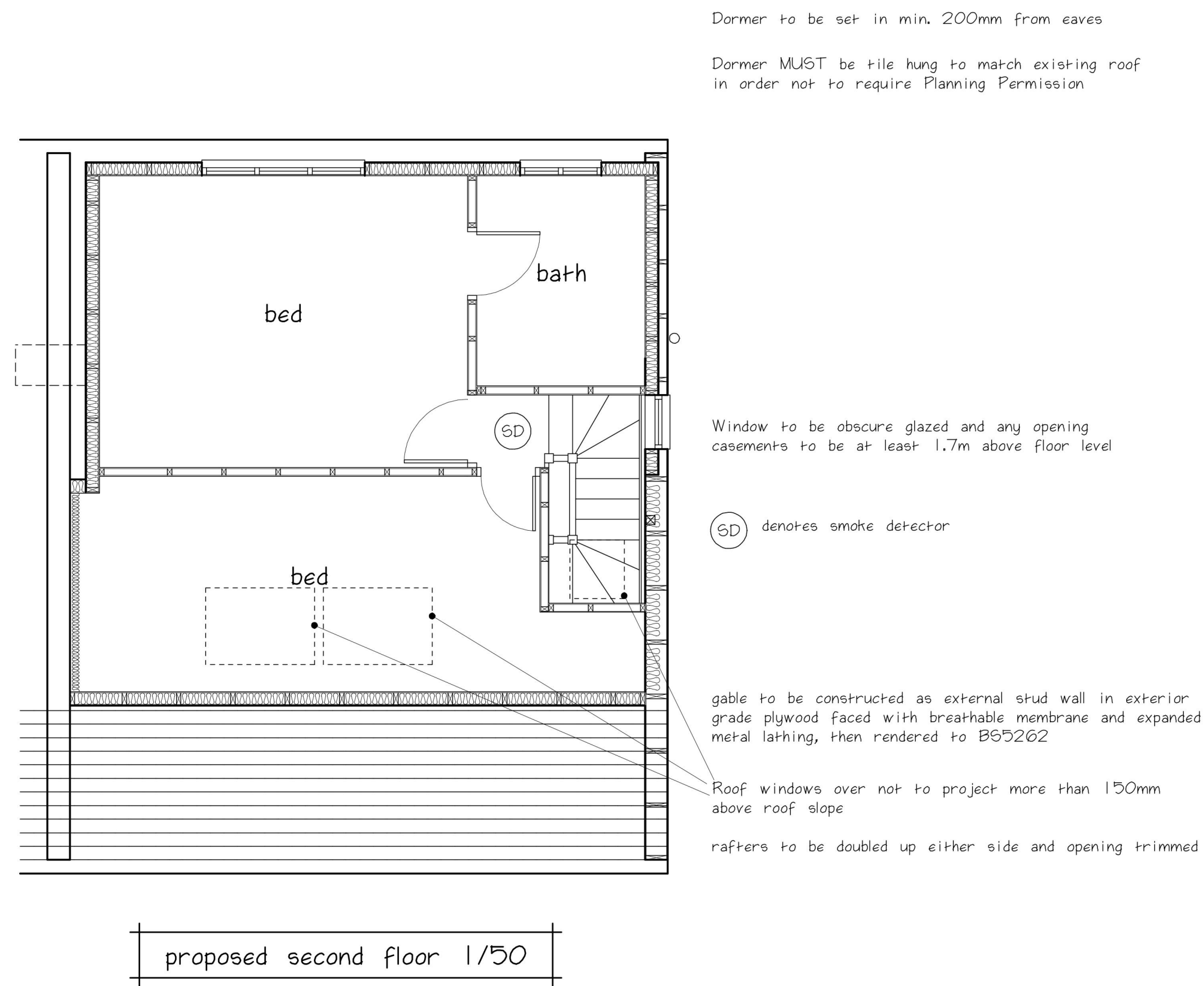
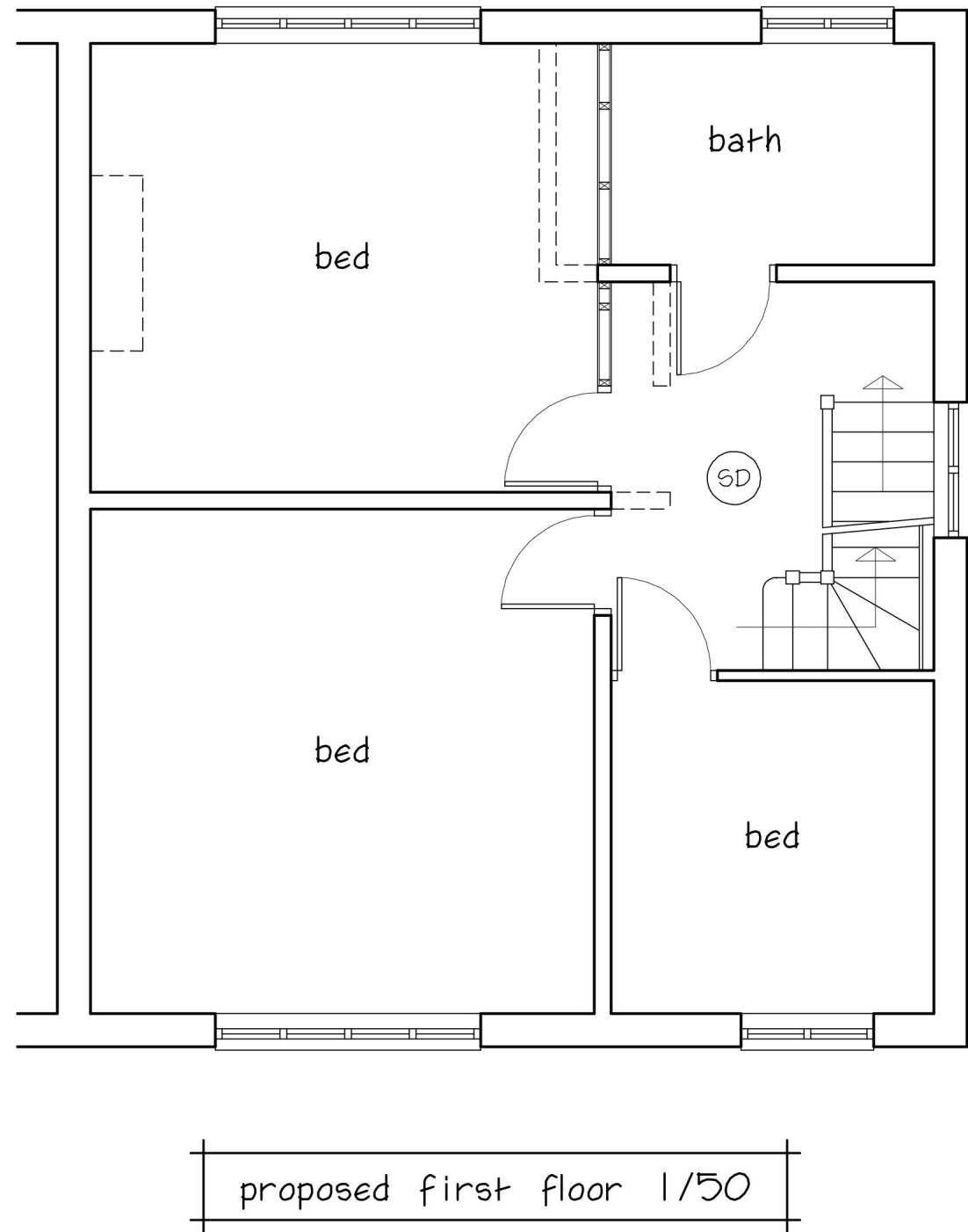
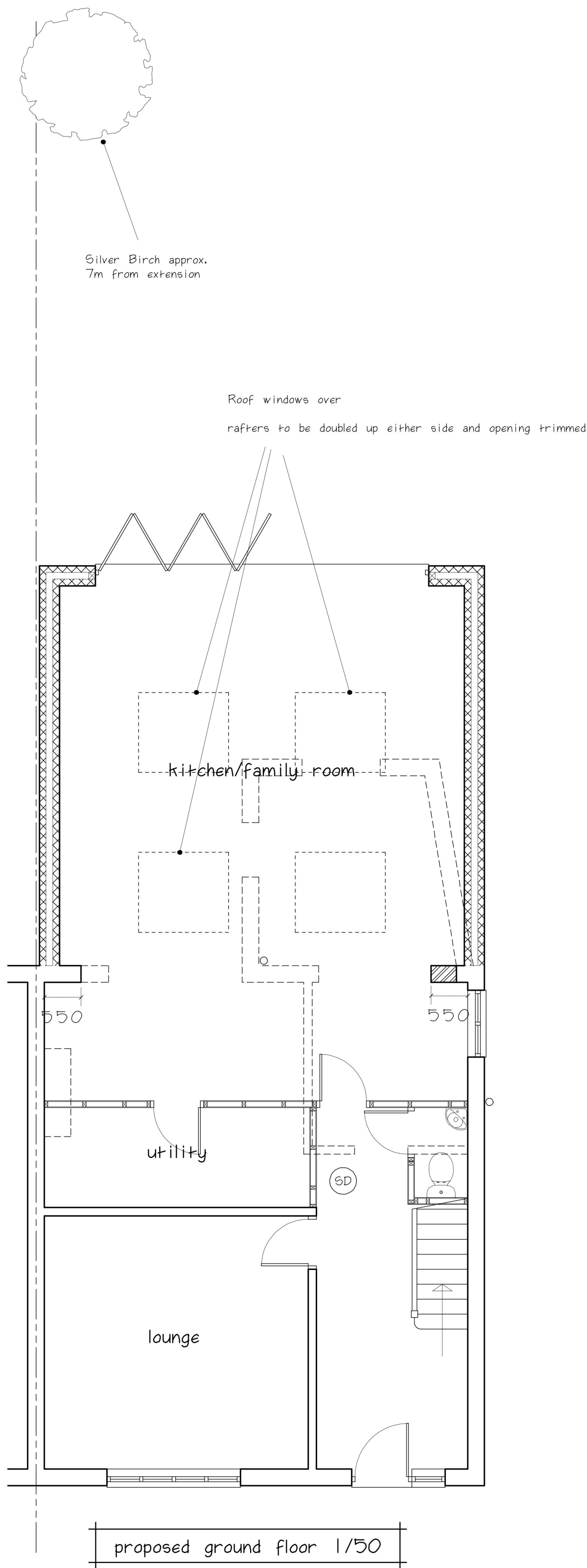
0m 5m 10m 15m 20m 25m 30m 35m 40m

Scale: 1:500

Paper Size: A4

Notes:





Notes



Project : Single storey rear extension & loft conversion
Address : 51 Peterborough Avenue Upminster
Client : Mr. & Mrs. Chavda
Date : February 2025
Drawing No. : 1906/25/2
Scale @ A1 : 1/50

Revisions

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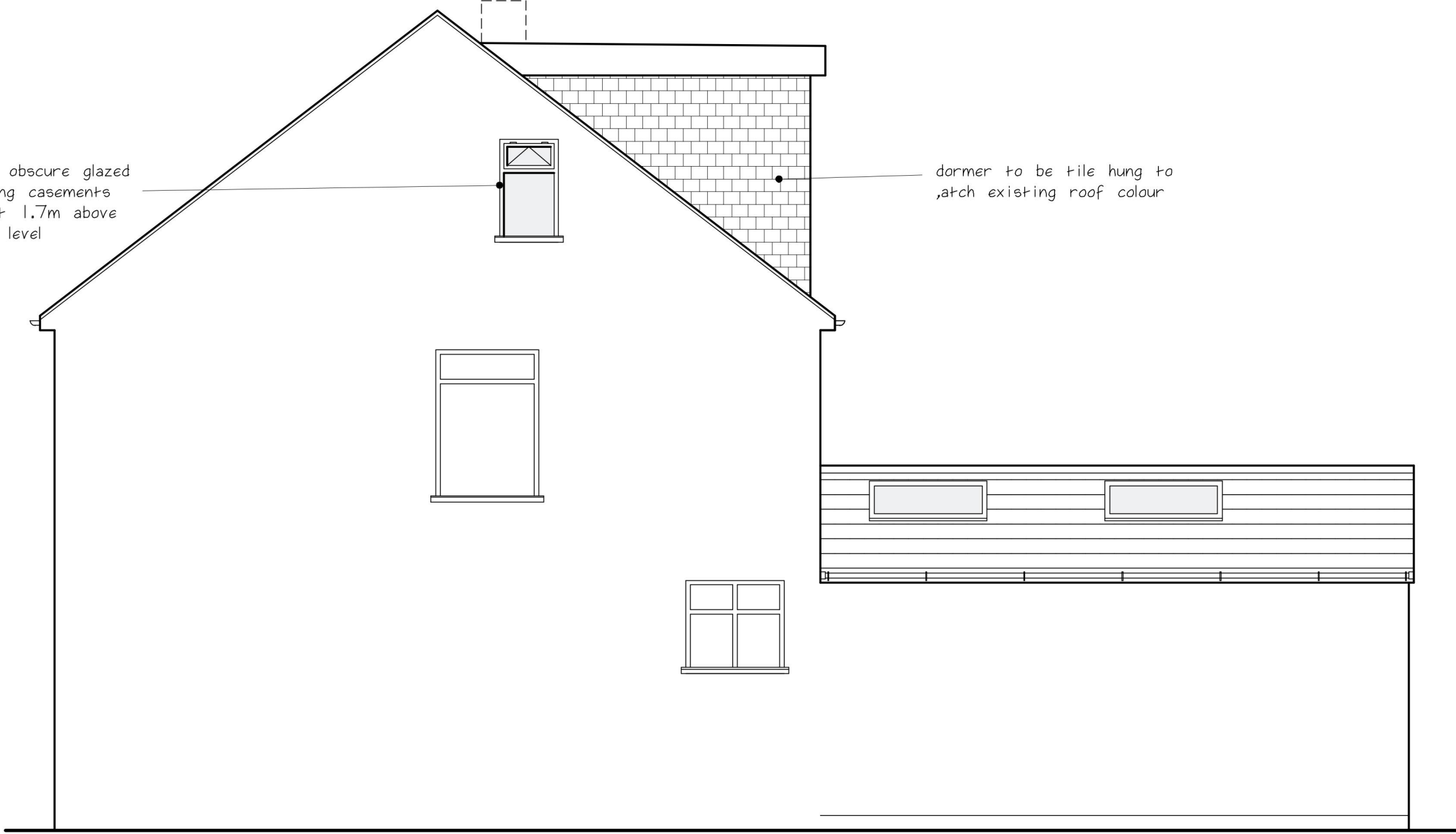
ConstructAid
Architectural and Design Consultants
Tel : 01708-228684



proposed front elevation 1/50

All roof windows not to project more than 150mm above roof slope

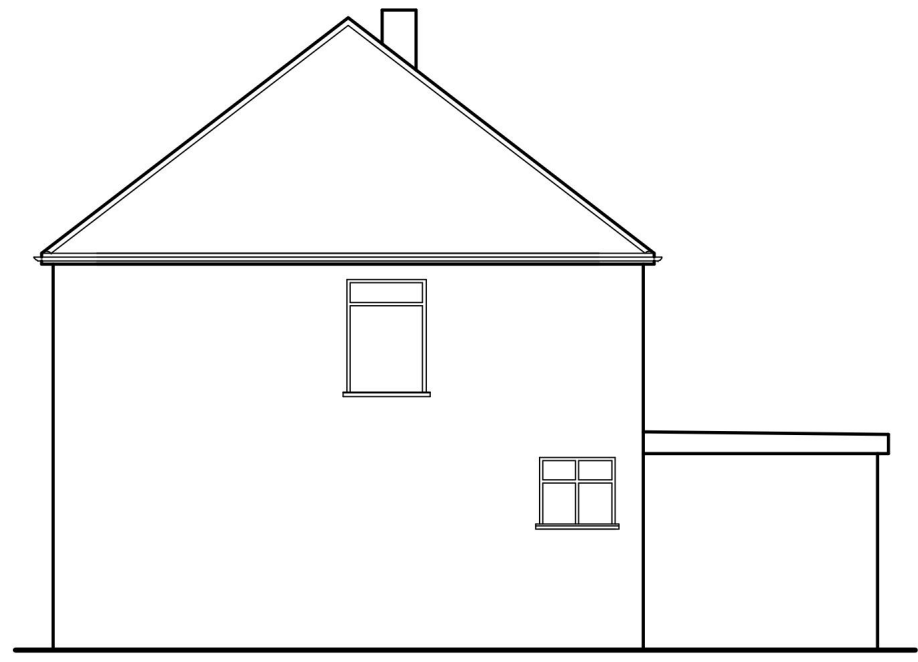
window to be obscure glazed and any opening casements to be at least 1.7m above finished floor level



proposed side elevation 1/50



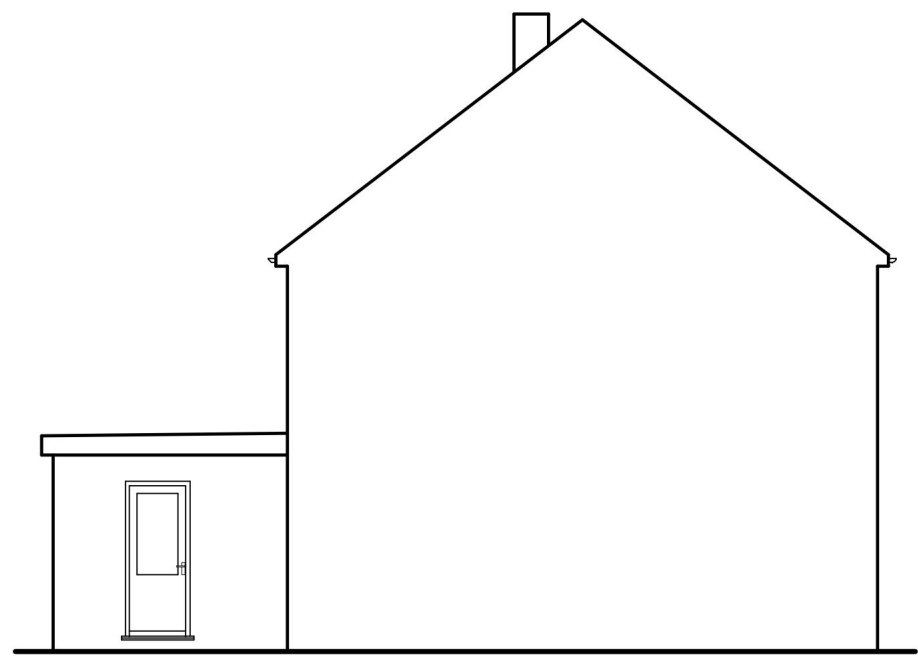
existing front elevation 1/100



existing side elevation 1/100

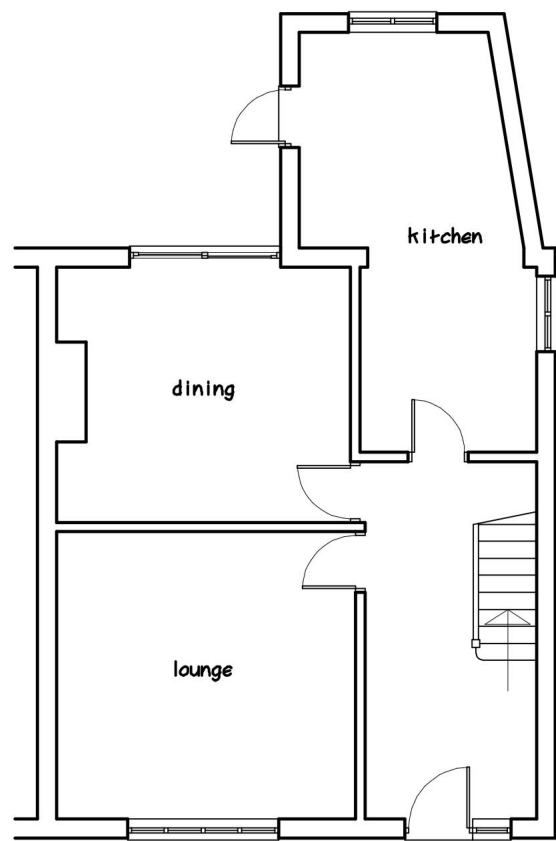


existing rear elevation 1/100

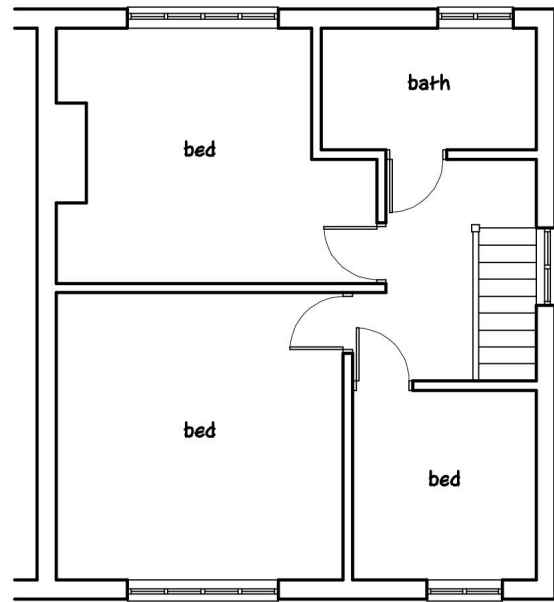


existing side elevation 1/100

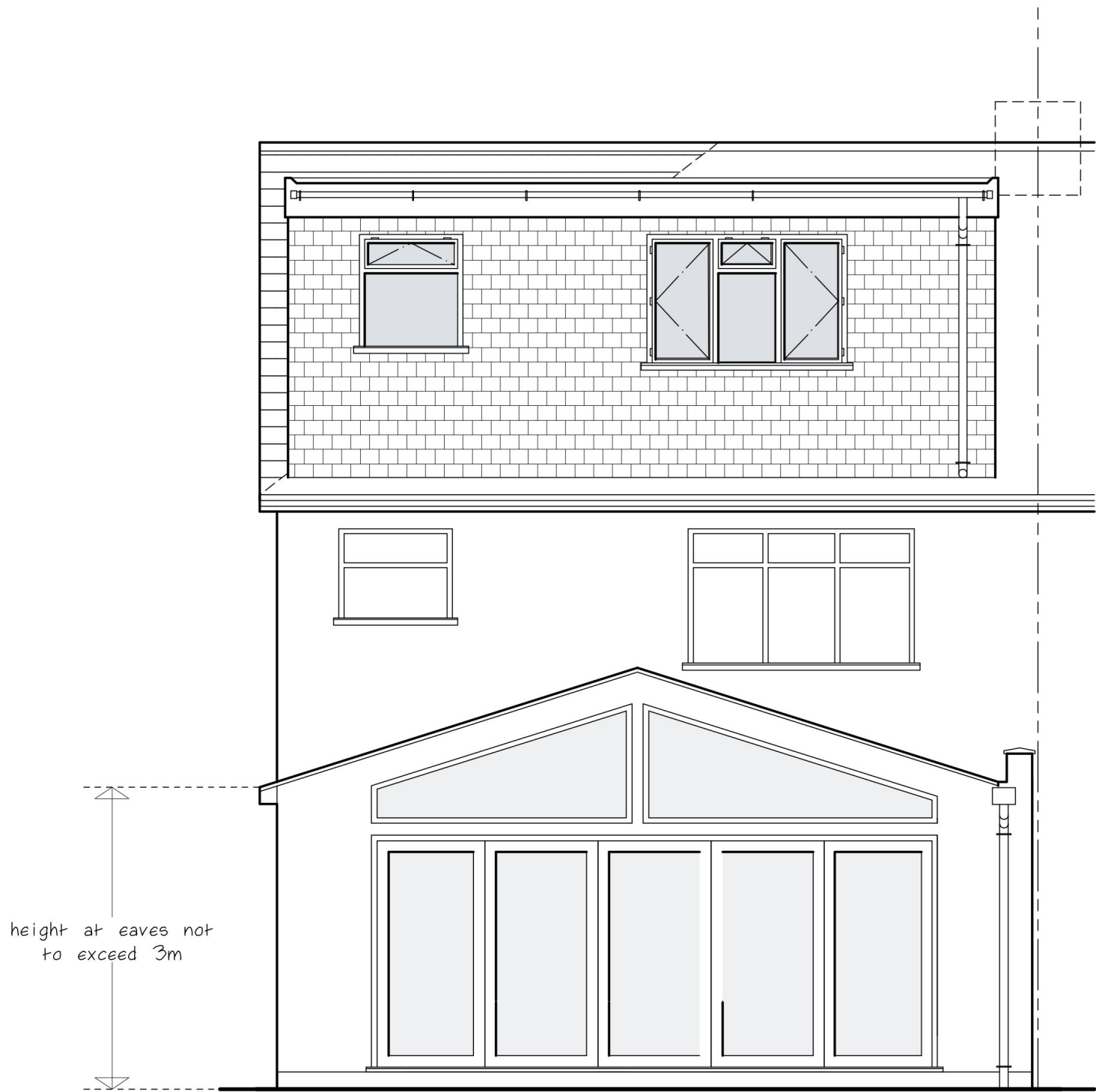
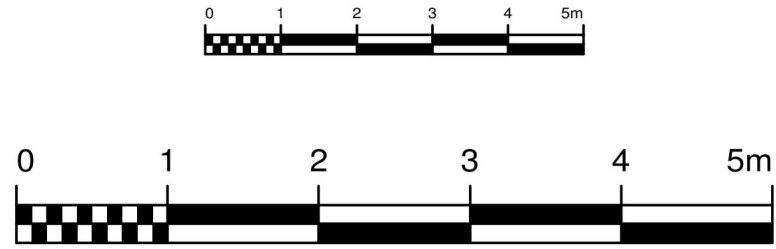
Volume of hip to gable $8.1/2 \times 3.1 \times 4.05/3$
= 16.95 cu. m
Volume of dormer $2.55 \times 6.3 \times 3.5/2$
= 28.11 cu. m
Total increase in volume = 45.06 cu. m



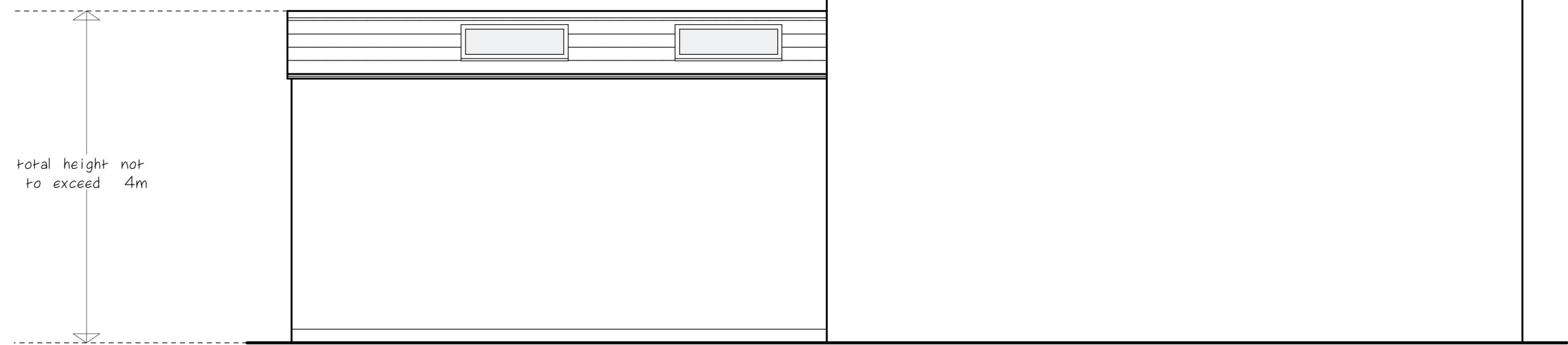
existing ground floor 1/100



existing first floor 1/100



proposed rear elevation 1/50



proposed side elevation 1/50

GENERAL
The contractor is to work from the plans marked 'APPROVED' under the Building Regulations by the Local Authority or satisfy himself that he is in possession of a plan showing all amendments.
Do not scale from plan. All sizes, dimensions, details etc. of new and existing structure to be verified by contractor prior to starting work and any discrepancies notified to ConstructAid for advice/amendment.
All structural details are provided on the understanding that they are to be checked and approved by Building Control prior to work starting.
All work to be carried out in accordance with the relevant British Standards and Codes of Practice and to comply with the requirements of the Building Regulations 2000 as amended.
Proprietary products, materials and appliances to be used or installed in accordance with the manufacturer's specification and instructions.
Gas, water and electrical installations to comply with the relevant statutory regulations.
ConstructAid can take no responsibility for estimating or construction errors due to misreading of plans. If in doubt, ASK!
The applicant is responsible for carrying out all requirements of the Party Wall etc. Act 1996, the Health and Safety Regulations relating to notification of construction works and notification of the Water Authority where necessary. If in any doubt, please contact ConstructAid for further information.
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Project : Single storey rear extension & loft conversion
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Date : February 2025
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