



DESIGN + ACCESS STATEMENT

**108 Carlton Road – Prior Approval
(Larger Home Extension, GPDO Part 1 Class A—A.4)**

Client: Mr J Kalar

Prepared by: Emre Komurcugil, EMKO

- 6.0 m single-storey rear extension, flat roof, 2 rooflights
- Max height: 2.94 m (to top of parapet) from patio datum 0.00
- Eaves height: 2.74 m (roof edge/gutter line) from patio datum 0.00
- Within 2 m of boundary; materials similar to existing

Site + Context

End-of-terrace dwelling. Shared rear access/alley to the No.106 side.
Attached neighbour No.110 has an existing ~3 m rear projection.
Several recently approved 6 m LHEs exist on Carlton Road:

- 210 Carlton Rd RM2 5BA
- 166 Carlton Rd RM2 5BE
- 102 Carlton Rd RM2 5AT
- 98 Carlton Rd RM2 5AT
- 70 Carlton Rd RM2 5AT

Ref: Y0293.22
Ref: Y0070.25
Ref: Y0247.20
Ref: Y0247.20
Ref: Y0303.23



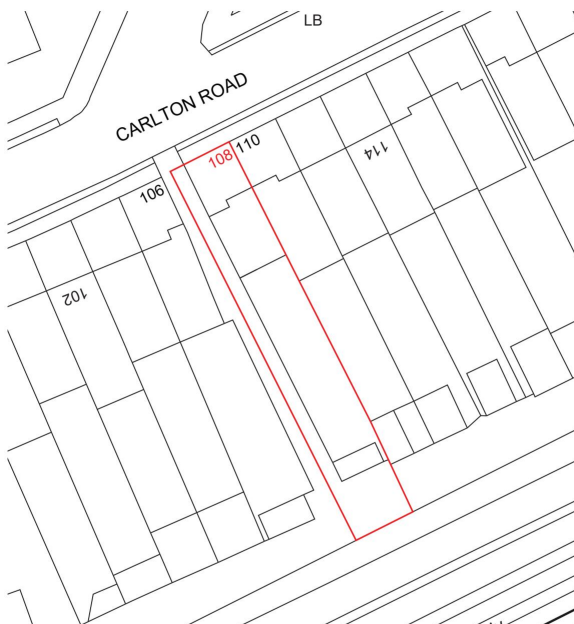
- 108's Front elevation
- 110 left of image
- Shared alley right of image



- 108's Rear elevation
- 110 right of image



- Shared alley from rear
- 106 left of image
- 108 right of image

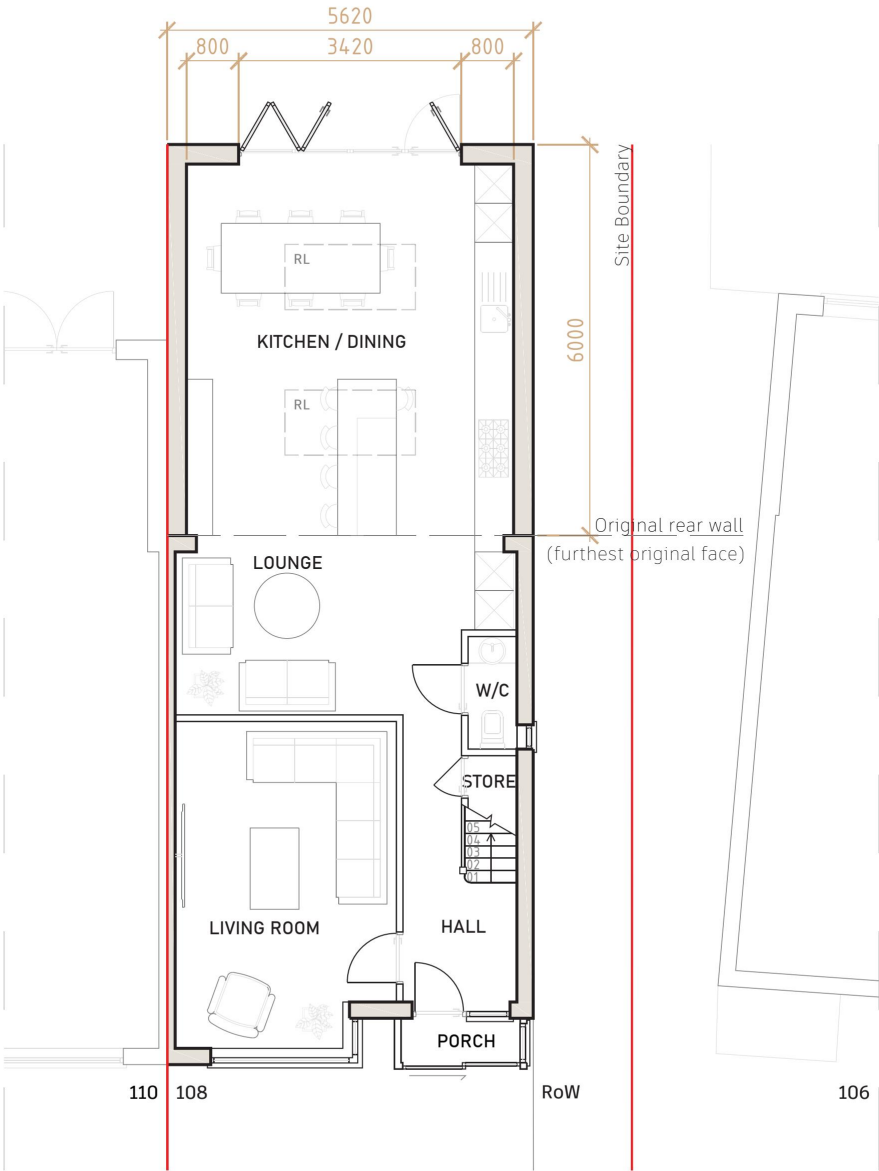


Block plan - Not to scale

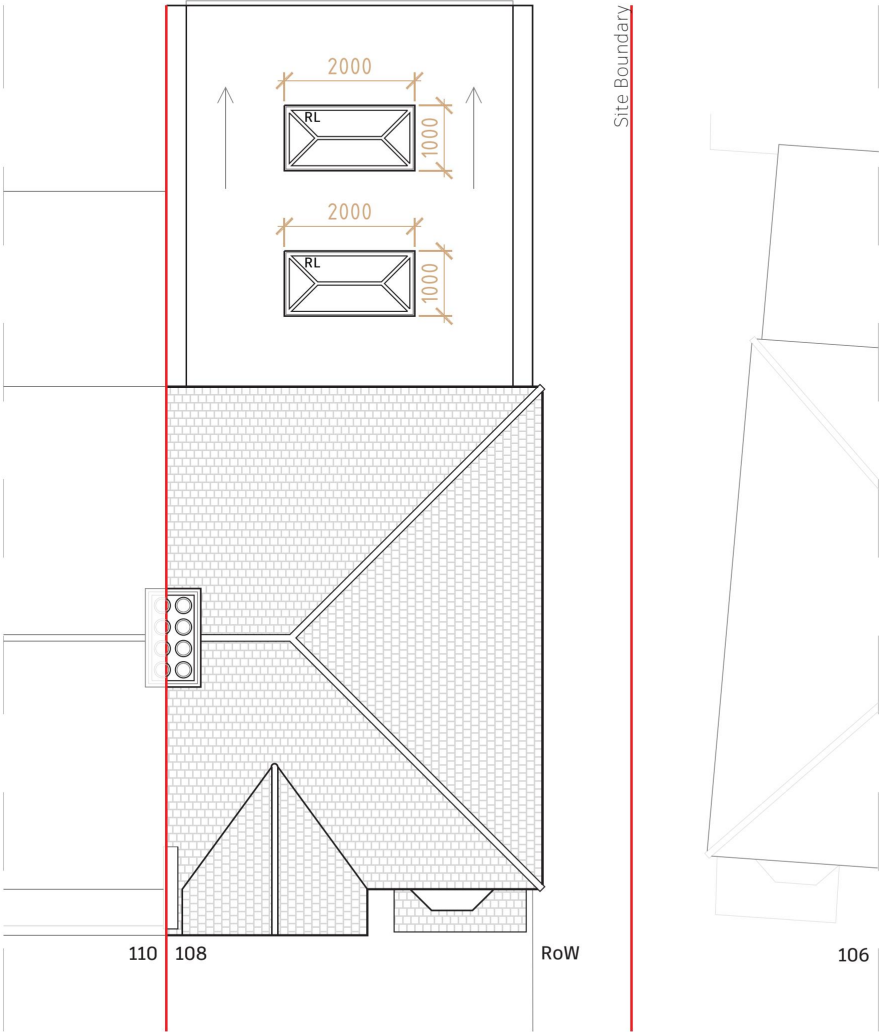


Google Earth imagery (capture date: Sept 2025)
- Rear of No.110
- Openings indicative only
- Imagery © Google

Proposal + Compliance: Plans

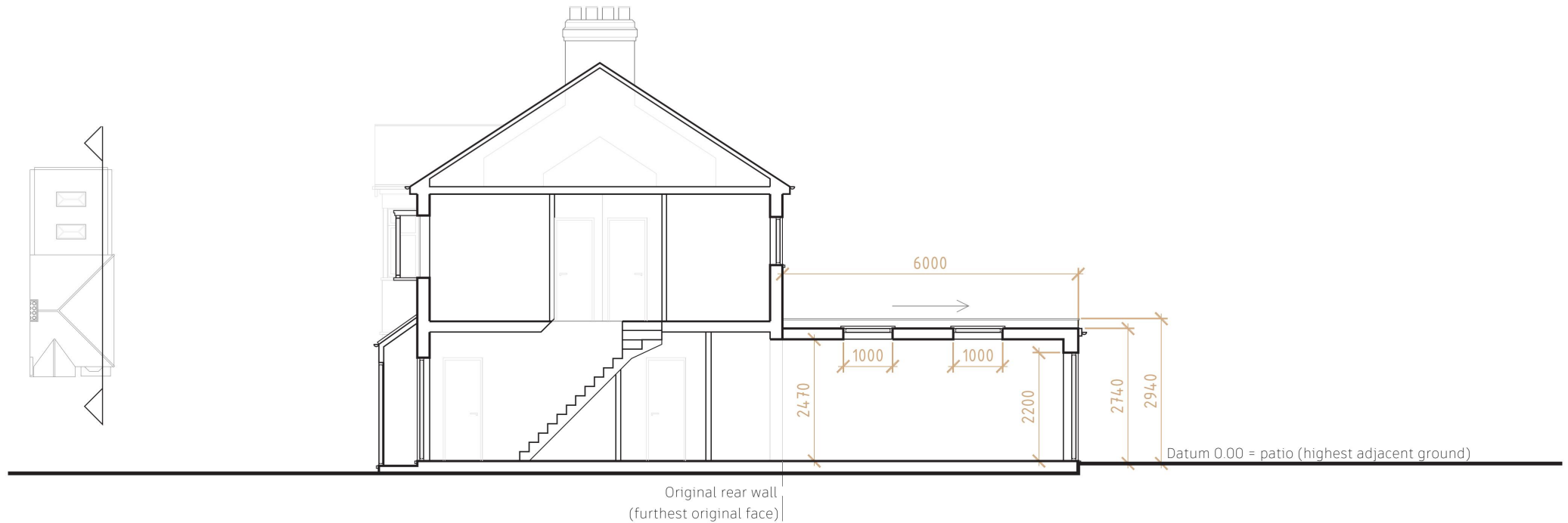


Ground Floor



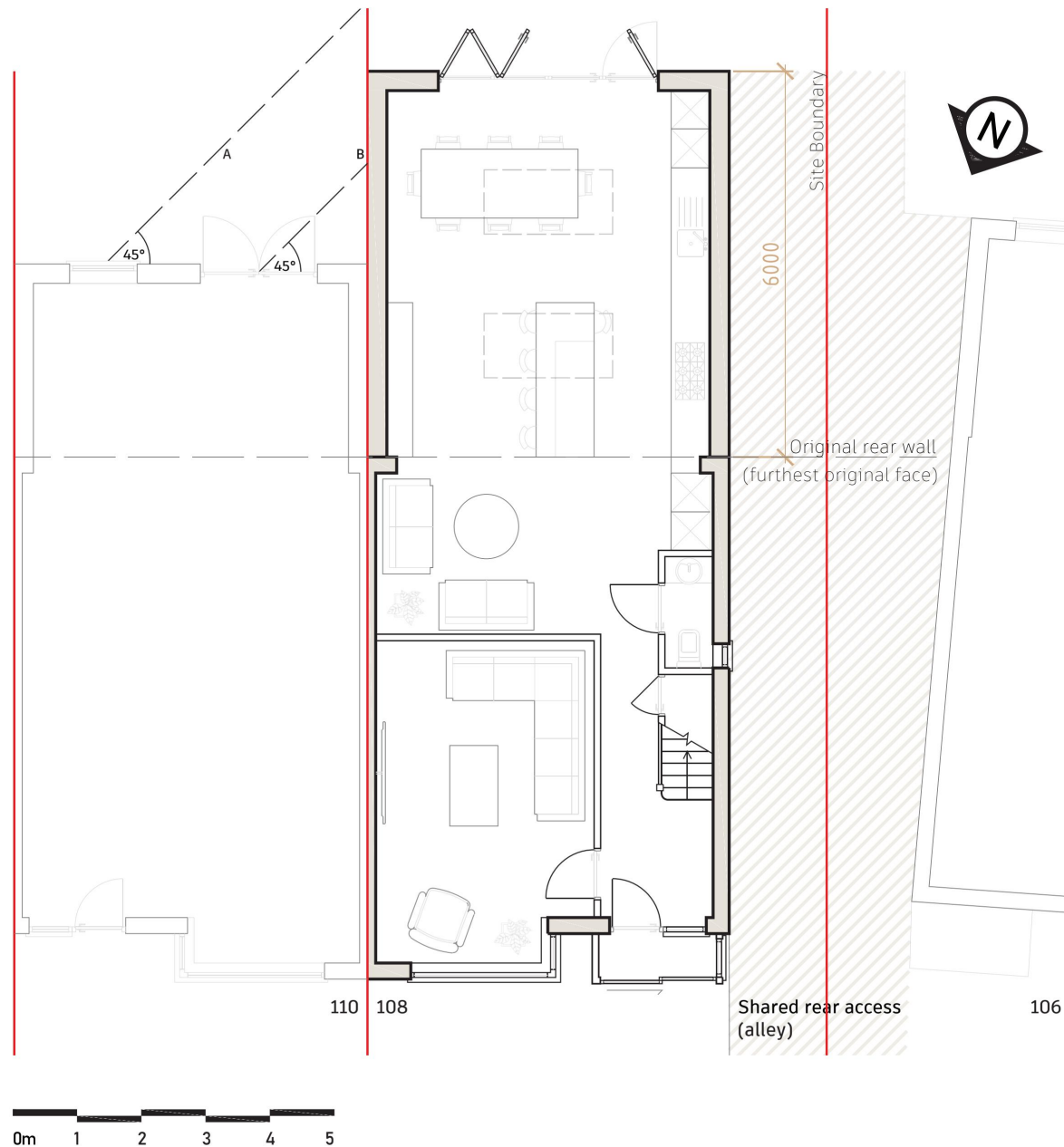
Roof

Proposal + Compliance: Section



- Depth: 6.000 m from original rear wall
- Max height ≤ 3.0 m (within 2 m of boundary): Parapet 2.94 m from patio datum 0.00
- Eaves height ≤ 3.0 m: 2.74 m from patio datum 0.00
- Flat roof fall $\approx 1:40$ to rear outlet; rooflight kerb top below parapet
- Kerb tops below parapet; no oversail at boundary
- Materials similar in appearance
- No wrap-around beyond original side elevation (A.1(j) not engaged)

Neighbour Amenity & Precedents



Neighbour openings (No.110): Positions are indicative. Ground floor door/window locations were assumed by mirroring No.108's surveyed layout and cross-checked against Google Earth imagery (capture [09/2025]), which appears broadly consistent. No measured survey of No.110 has been undertaken

- One principal opening at No.110 remains unaffected: Ray A (window) is clear of the 6.0 m extension
- Doors are partially affected: Ray B intersects the proposed rear wall; single-storey ≤ 3.0 m mass limits overbearing
- Opposite side separated by alley: no enclosure to No.106
- 98 Carlton Road - $6.0 \text{ m} \leq 3.0 \text{ m}$ LHE; prior approval not required (flat roof; amenity basis accepted)
- 102 Carlton Road - $6.0 \text{ m} \leq 3.0 \text{ m}$ LHE; prior approval granted (flat roof)

The proposal satisfies GPDO Part 1, Class A–A.4 in full and demonstrates an acceptable neighbour impact for an end-terrace plot with an alley on the opposite side. The massing is kept to a simple single-storey, flat-roof form with heights contained within the ≤ 3.0 m limits, and the indicative 45° check shows effects are limited and typical of LHE outcomes on this street. No projection beyond the original side elevation. The extension is full-width to the rear only and does not wrap past the original side wall. The scheme also aligns with recent Carlton Road decisions of comparable scale and form

Planning outcome: the evidence supports a finding that [prior approval is not required] / [prior approval should be granted] under Class A–A.4.

Refer to drawings 108CR_LOCPL_000 / 108CR_PRPL_007 / 108CR_PRSE_008 / for scaled information. DAS figures are illustrative only