

1

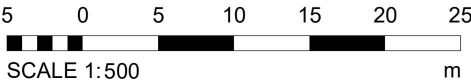
Existing Site Plan

1 : 500

2

Proposed Site Plan

1 : 500



© This drawing is the property of Bluetime Retail Ltd who retain the sole copyright of its contents & it may not be reproduced in part or in whole without written permission



Amendments			
Rev :	Init. :	Date :	Description :

Project :

5 Acacia Avenue

Title :
Planning Drawings
Existing & Proposed Site Plan 1-500

The Architects Of
London
(0203 903 9093)

Bluelime Architecture
(01322 521026)

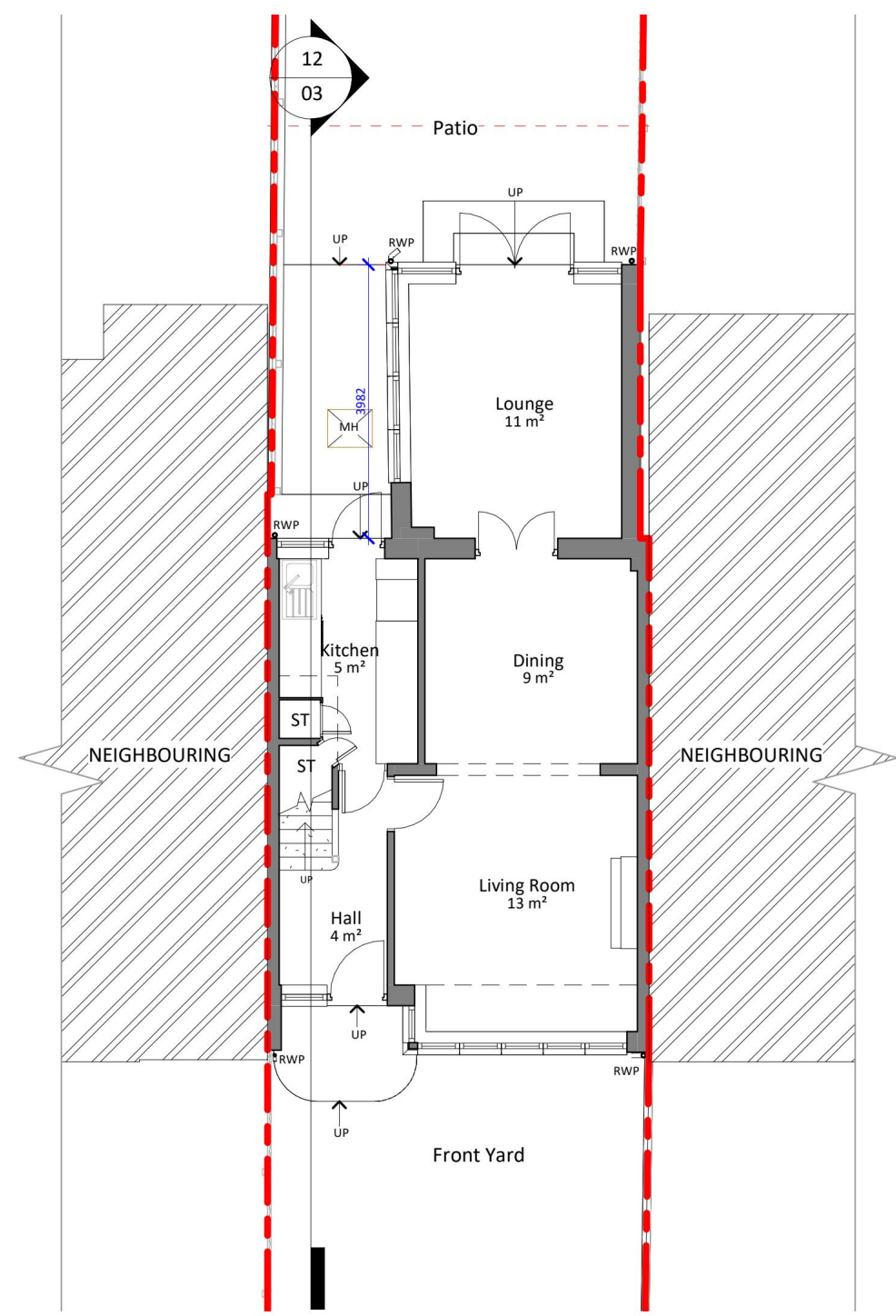
THE
ARCHITECTS
OF LONDON
OF BLUELIME

5 Acacia Avenue

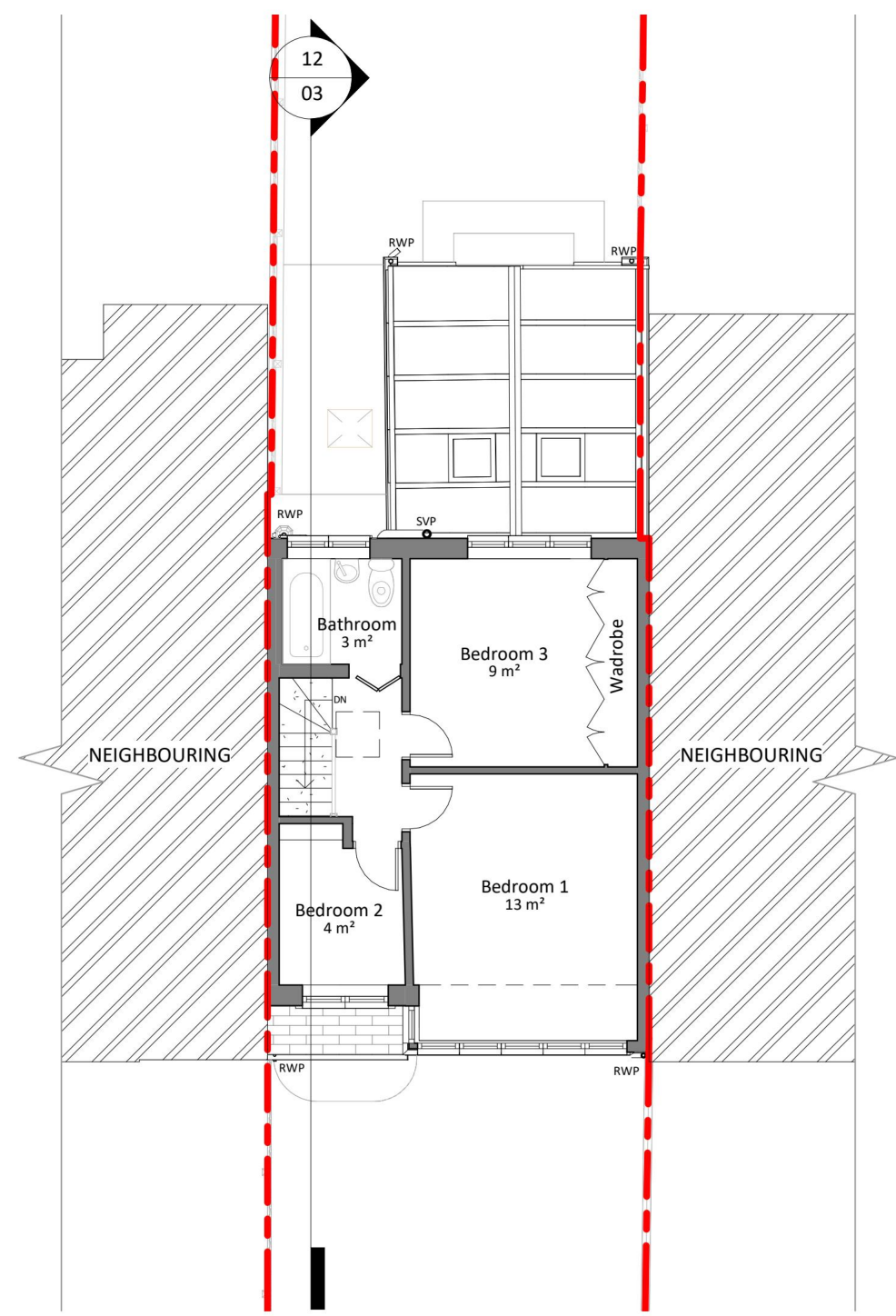
Drawn by :	Scale :	@A3	Date :
SB	1 : 500		18/09/2025

Drawing number :	Rev :
BL/DRG/30082025/ 02	

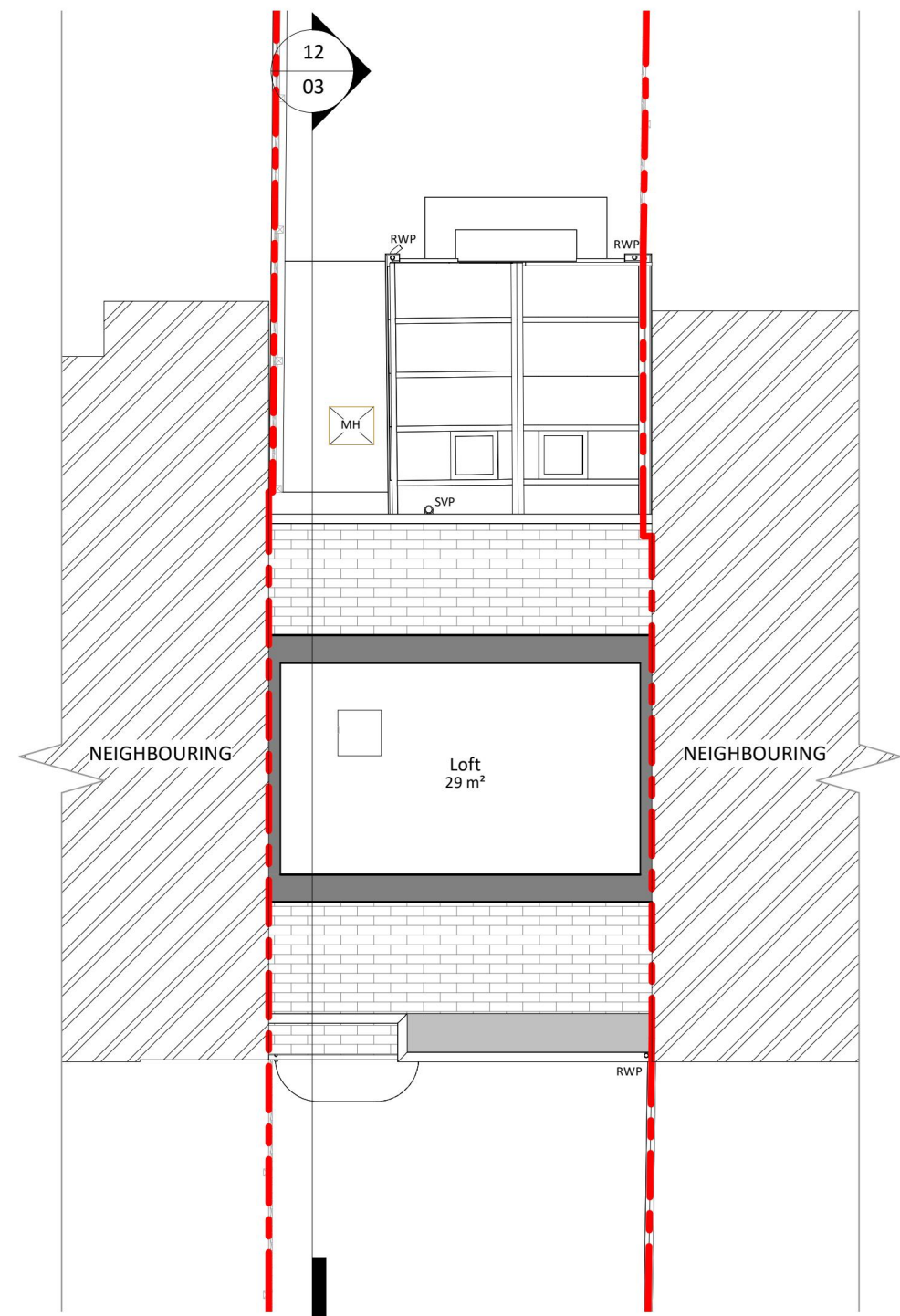
[INDICATIVE PLANNING APPLICATION
DRAWINGS ONLY - NOT FOR CONSTRUCTION]



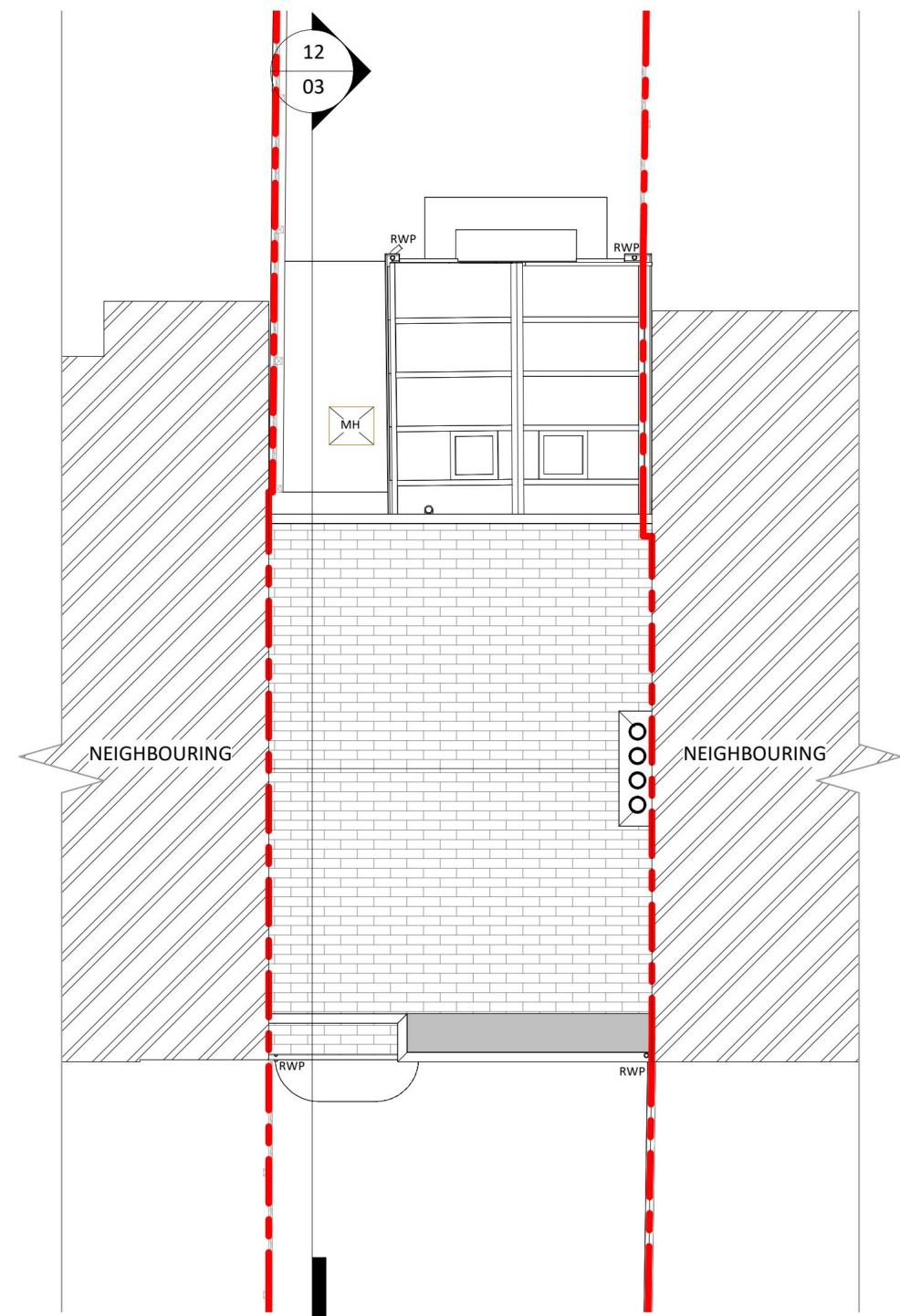
1 Existing Ground Floor
1 : 100



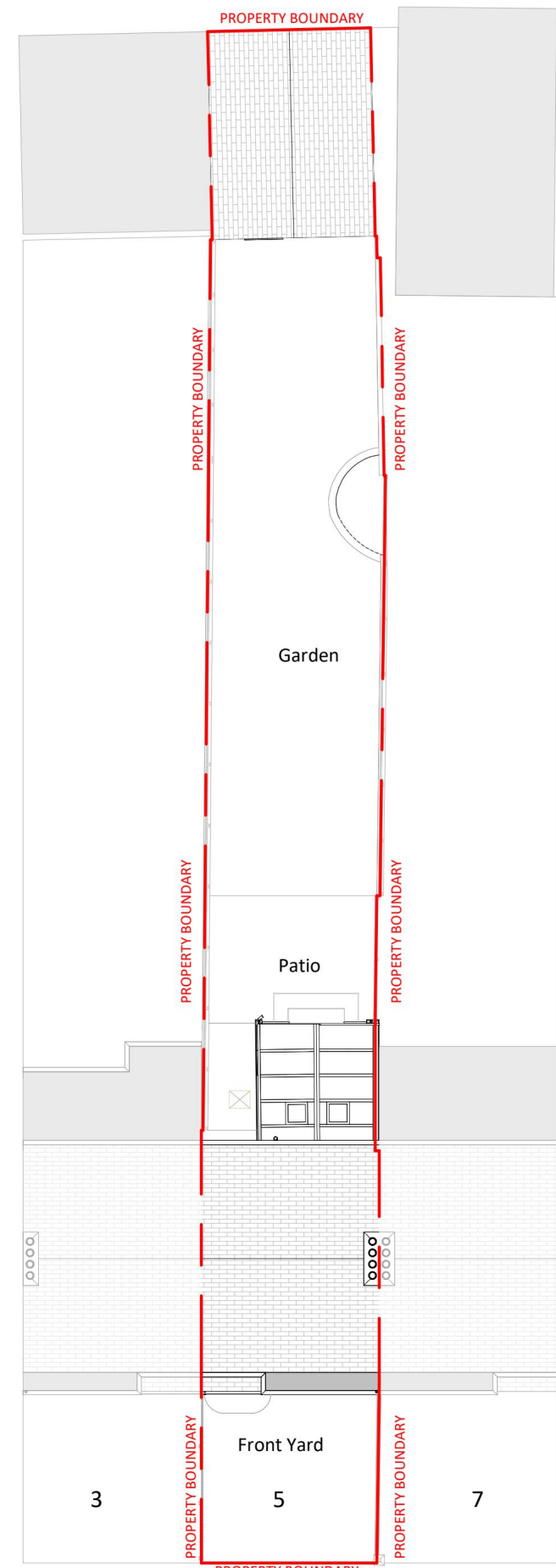
2 Existing First Floor
1 : 100



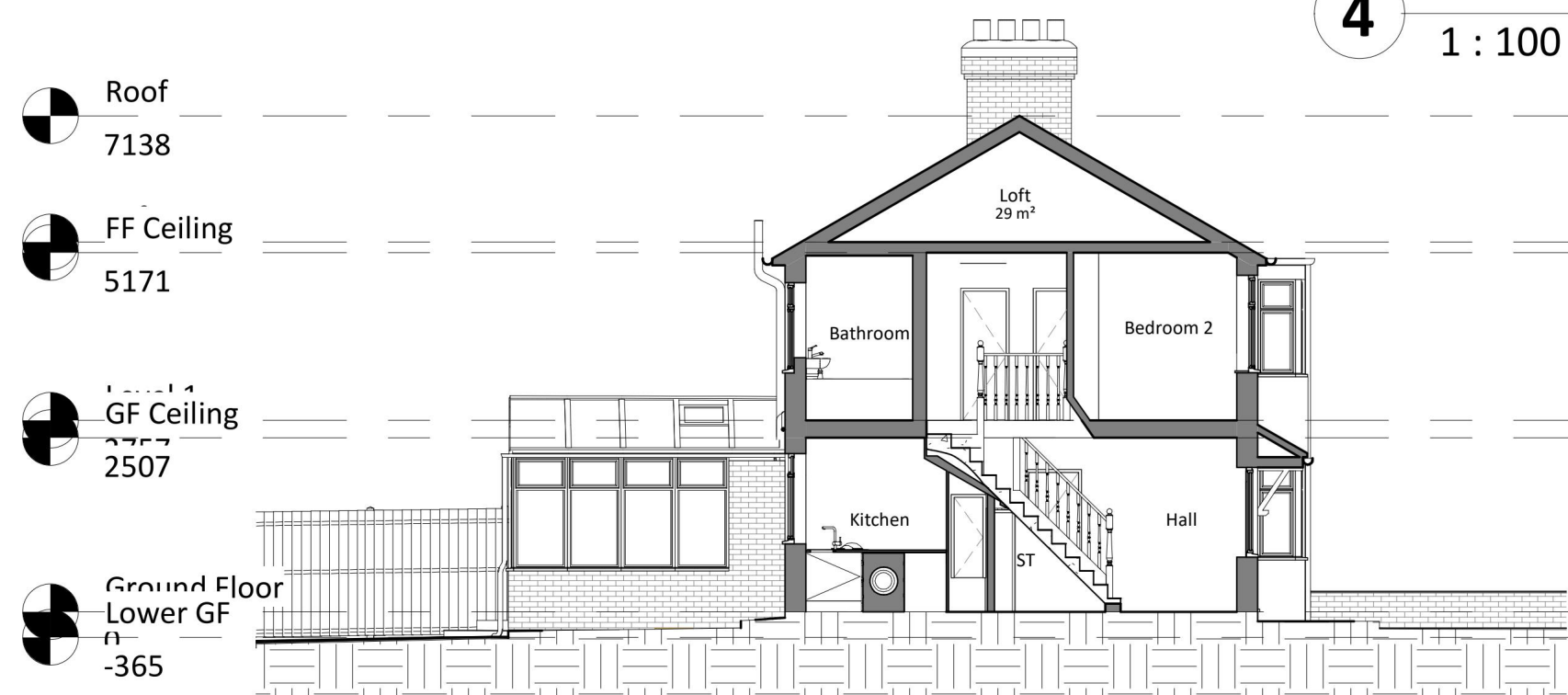
3 Existing Loft
1 : 100



4 Existing Roof
1 : 100



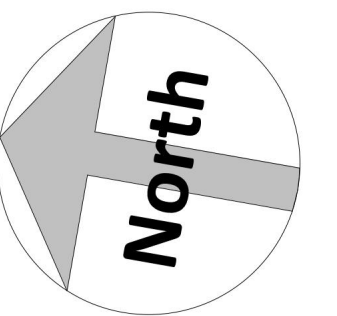
5 Site
1 : 200



12 Section 1 Existing
1 : 100

© This drawing is the property of Bluetime Retail Ltd who retain the sole copyright of its contents & it may not be reproduced in part or in whole without written permission

- DRAINAGE STORM NEW
- DRAINAGE STORM EXISTING REMOVED
- DRAINAGE FOUL NEW
- DRAINAGE FOUL EXISTING REMOVED
- DRAINAGE FOUL EXISTING
- DRAINAGE COMBINED NEW
- DRAINAGE COMBINED EXISTING
- DRAINAGE COMBINED EXISTING REMOVED



Amendments :

Rev	Desc	Date	Description

Project :

5 Acacia Avenue

Title :
Planning Drawings
Existing Floor Plans and Section

The Architects Of London
(0203 903 9093)

Bluetime Architecture
(01322 521026)

THE ARCHITECTS
OF LONDON



5 Acacia Avenue

Drawn By : SB Scale : As indicated Date : 18/09/2025

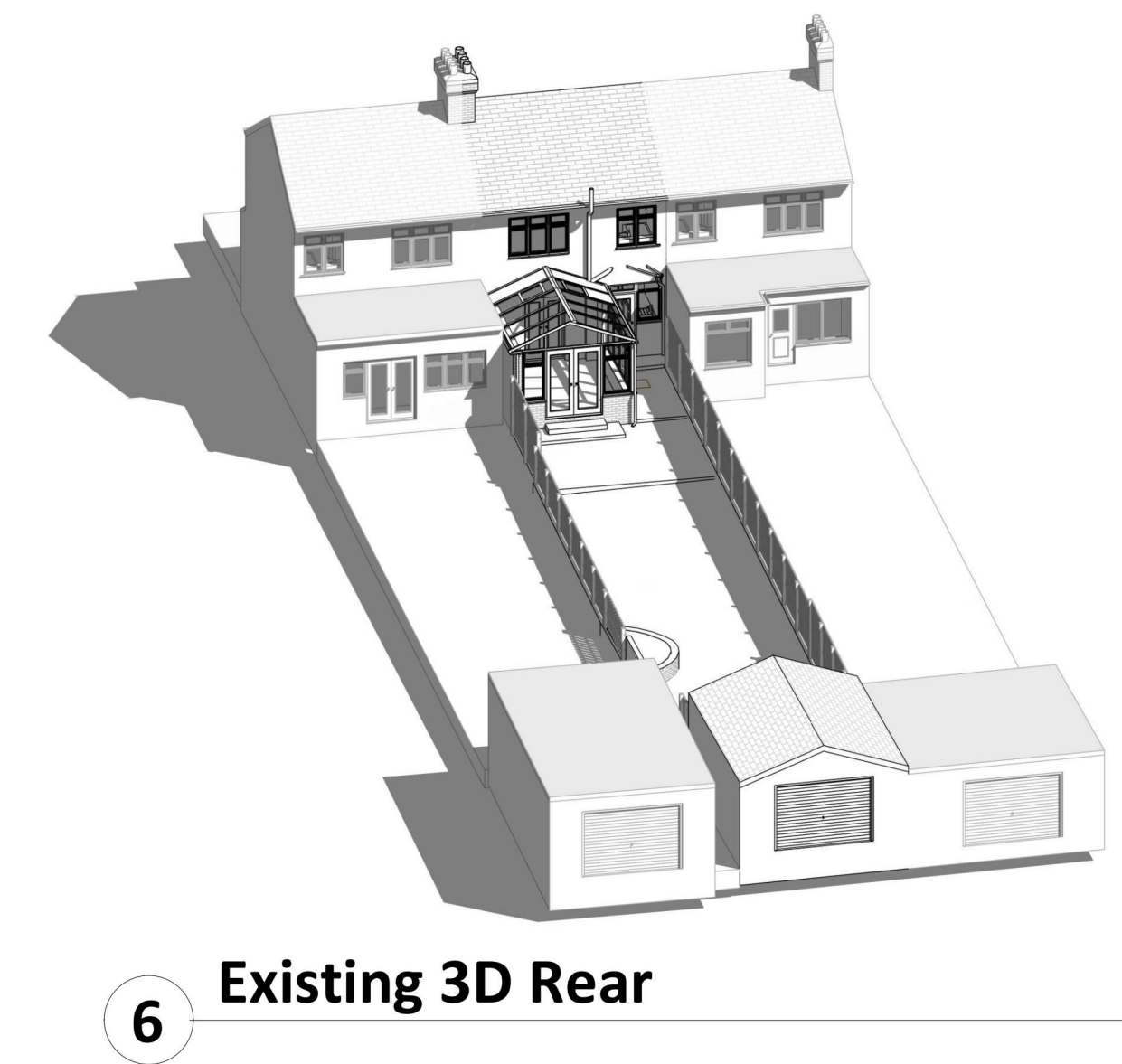
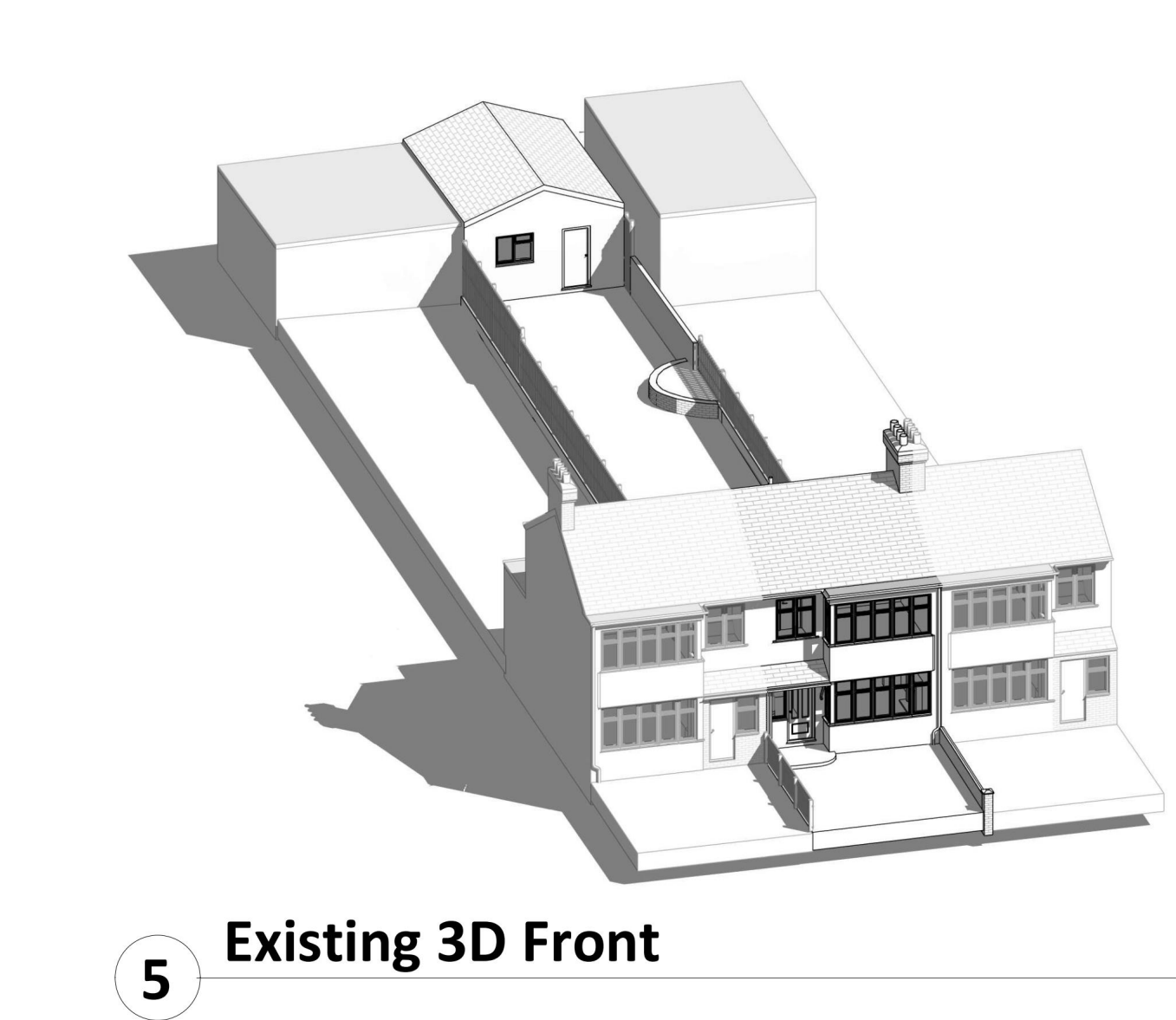
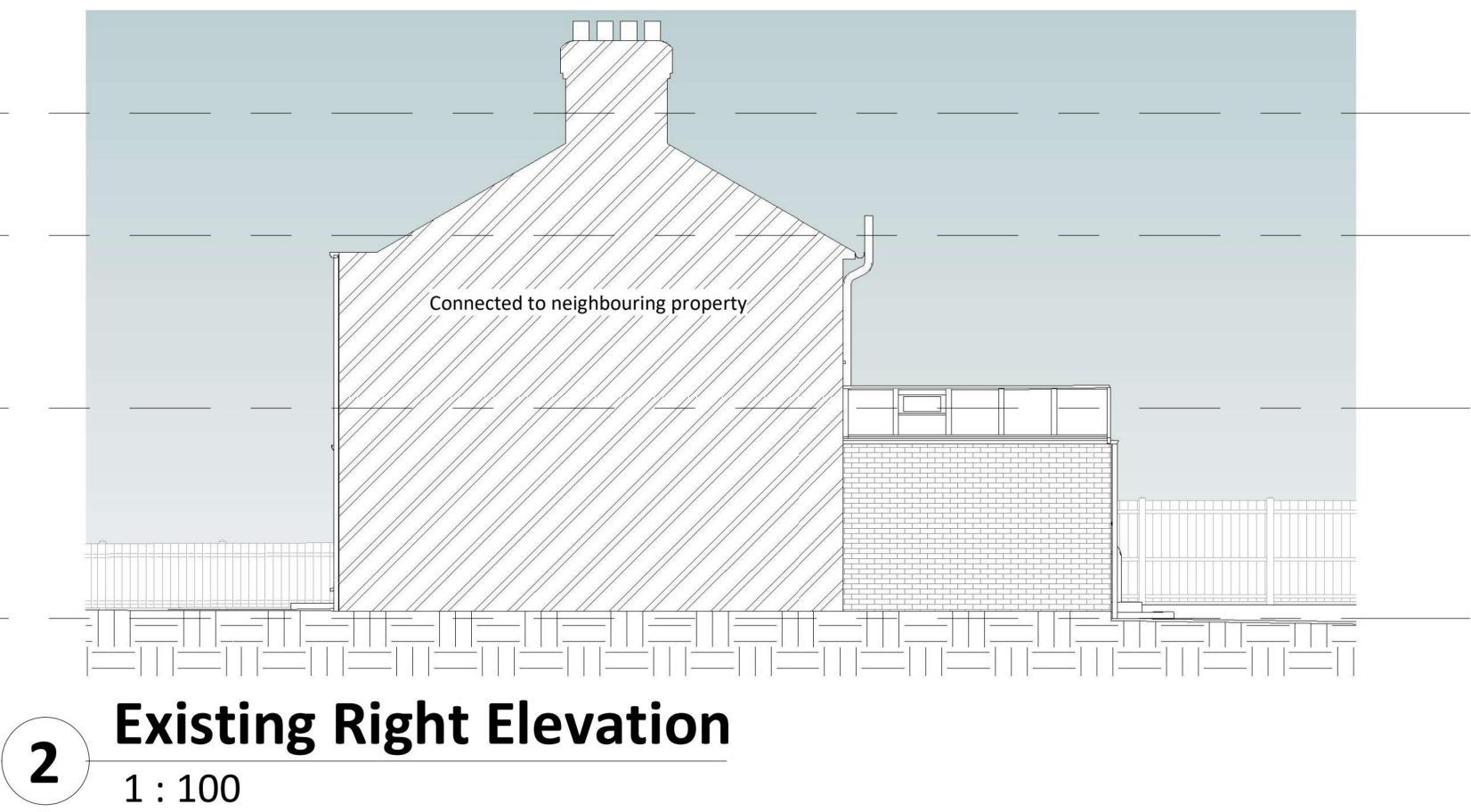
Drawing number : BL/DRG/30082025/ 03 Rev :

[INDICATIVE PLANNING APPLICATION DRAWINGS ONLY - NOT FOR CONSTRUCTION]

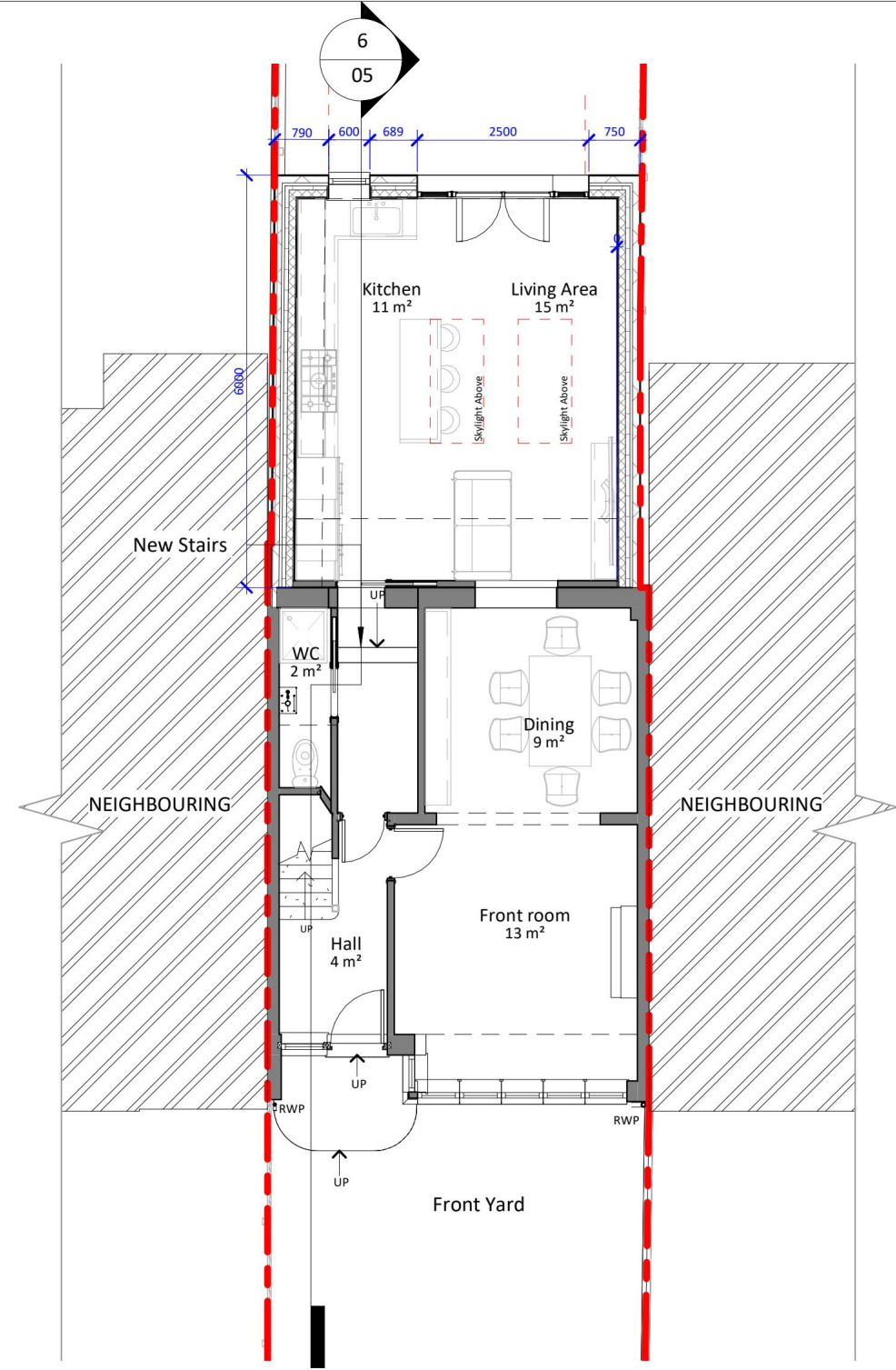
1 0 1 2 3 4 5
SCALE 1:100 m

13/10/2025 14:23:45

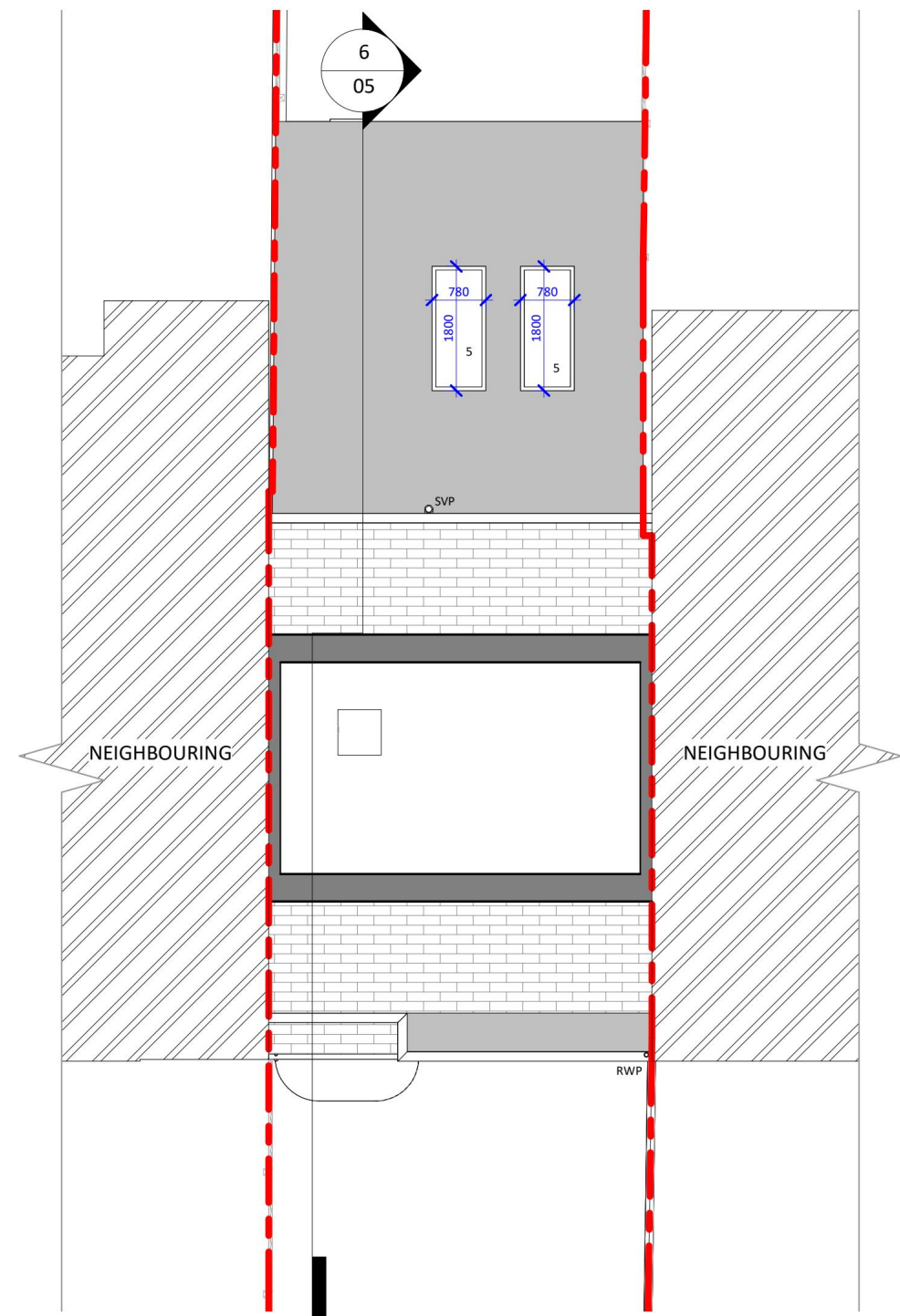
- DRAINAGE STORM NEW
- DRAINAGE STORM EXISTING
- DRAINAGE STORM EXISTING REMOVED
- DRAINAGE FOUL NEW
- DRAINAGE FOUL EXISTING
- DRAINAGE FOUL EXISTING REMOVED
- DRAINAGE COMBINED NEW
- DRAINAGE COMBINED EXISTING
- DRAINAGE COMBINED EXISTING REMOVED



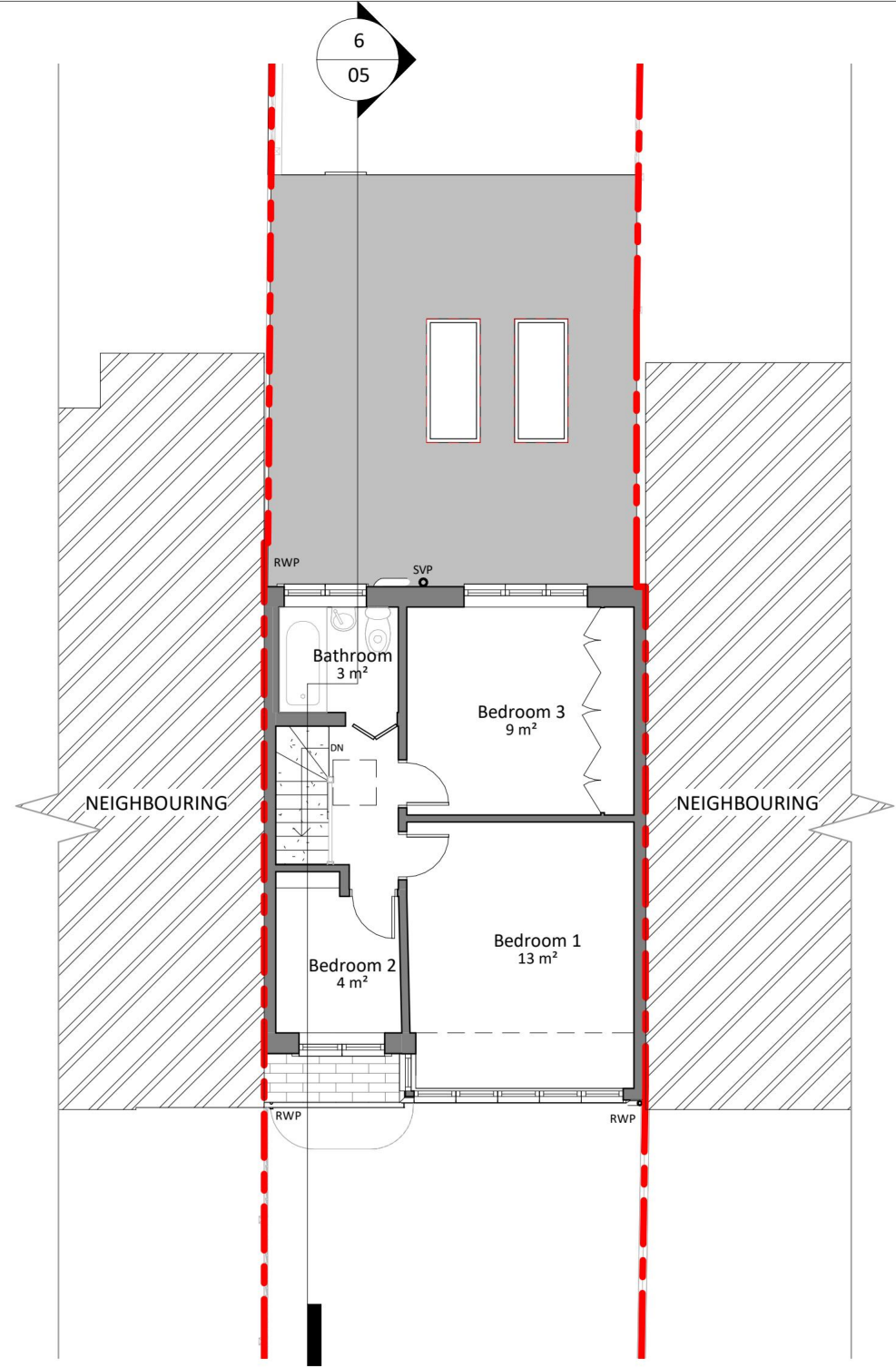
Amendments :			
Rev.	Date	Description	
Project :			
5 Acacia Avenue			
Title :			
Planning Drawings			
Existing Elevations and 3D Views			
The Architects Of London (0203 903 9093)		THE ARCHITECTS A TRADING NAME OF LONDON OF BLUELINE	
Bluetime Architecture (01322 521026)		blue lime®	
5 Acacia Avenue			
Drawn by :	Scale :	@ A1	Date :
SB	1 : 100		18/09/2025
Drawing number :			Rev :
BL/DRG/30082025/ 04			
[INDICATIVE PLANNING APPLICATION DRAWINGS ONLY - NOT FOR CONSTRUCTION]			



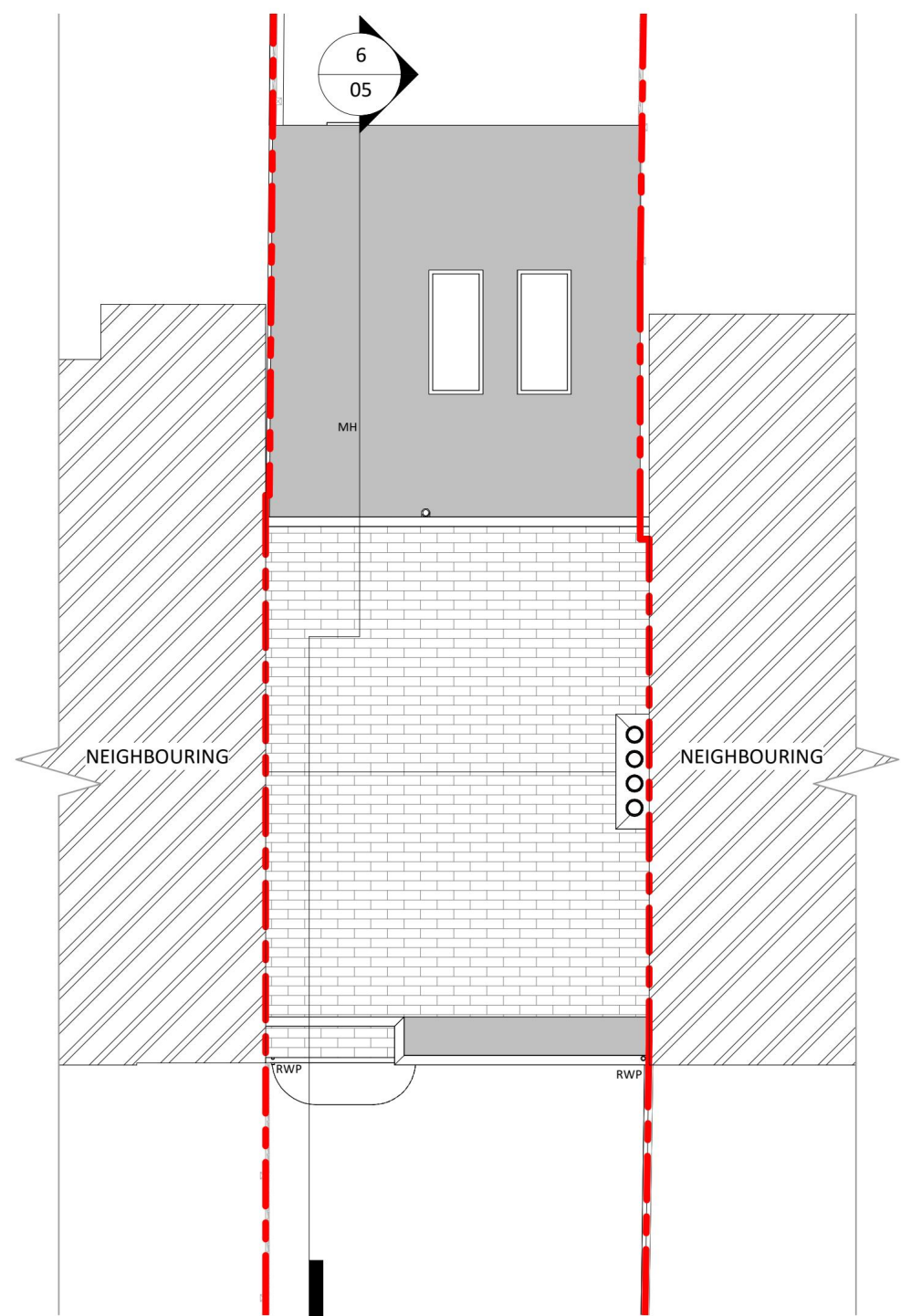
1 Proposed Ground Floor
1 : 100



3 Proposed Loft
1 : 100



2 Proposed First Floor
1 : 100



4 Proposed Roof
1 : 100



6 Section 1 Proposed
1 : 100

Class A - Single-Storey Extension

To be permitted development a Single storey rear extension must not extend beyond the rear of the original house by more than 3m if a terraced house. Single storey rear extension must not exceed a height of four metres.

If extension is within two metres of a boundary maximum eaves height should be no higher than three metres to be permitted development.

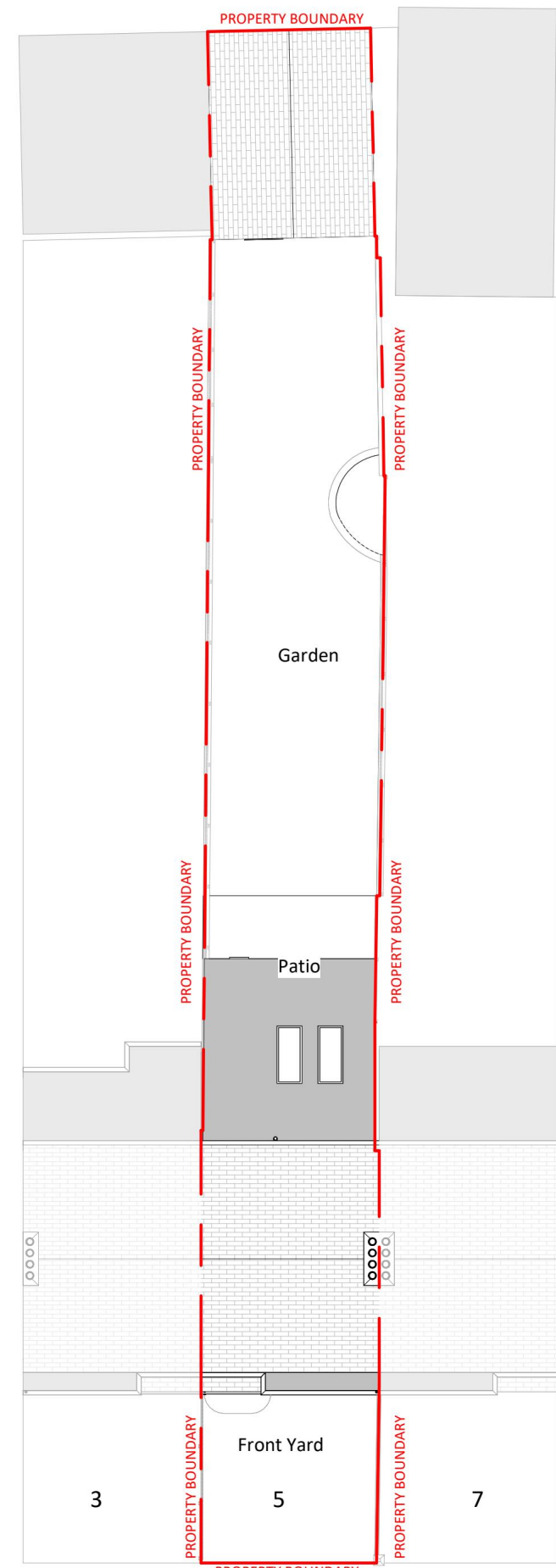
Maximum eaves and ridge height of extension no higher than existing house. Extensions (including previous extensions) and other buildings must not exceed 50% of the total area of land around the original house.

Materials used in exterior work to be similar in appearance to those of the exterior of the existing house.

Roof light/windows and frames will not protrude more than 0.15 metres beyond the plane of the slope of the original roof when measured from the perpendicular with the external surface of the original roof.

"Height"-references to height (for example, the heights of the eaves on a house extension) is the height measured from ground level. (Note, ground level is the surface of the ground immediately adjacent to the building in question and would not include any addition laid on top of the ground such as decking. Where ground level is not uniform (for example if the ground is sloping), then the ground level is the highest part of the surface of the ground next to the building.)

Ministry of Housing, Communities and Local Government
Permitted development rights for householders
Technical Guidance - September 2019

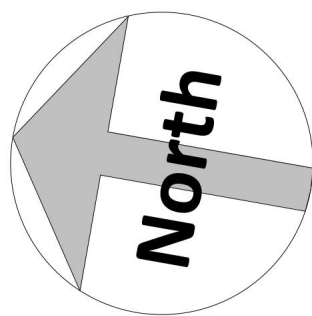


5 Site
1 : 200

© This drawing is the property of Bluetime Retail Ltd who retain the sole copyright of its contents & it may not be reproduced in part or in whole without written permission

- DRAINAGE STORM NEW
- DRAINAGE STORM EXISTING
- DRAINAGE STORM EXISTING REMOVED
- DRAINAGE FOUL NEW
- DRAINAGE FOUL EXISTING
- DRAINAGE FOUL EXISTING REMOVED
- DRAINAGE COMBINED NEW
- DRAINAGE COMBINED EXISTING
- DRAINAGE COMBINED EXISTING REMOVED

EXTERNAL FINISHES SCHEDULE	
1	Walls: Render to match the existing.
2	GRP Flat Roof
3	Windows - White uPVC to match the existing.
4	Doors: French Door white uPVC to match the existing
5	White/Clear Velux Roof Lights (Triple Glazed recommended)
6	Black UPVC Guttering to match existing
7	
8	
9	
10	
11	
12	
13	
14	
15	



Amendments :

Rev	Desc	Date	Description

Project :

5 Acacia Avenue

Title :
Planning Drawings
Proposed Plans and Section

The Architects Of London
(0203 903 9093)

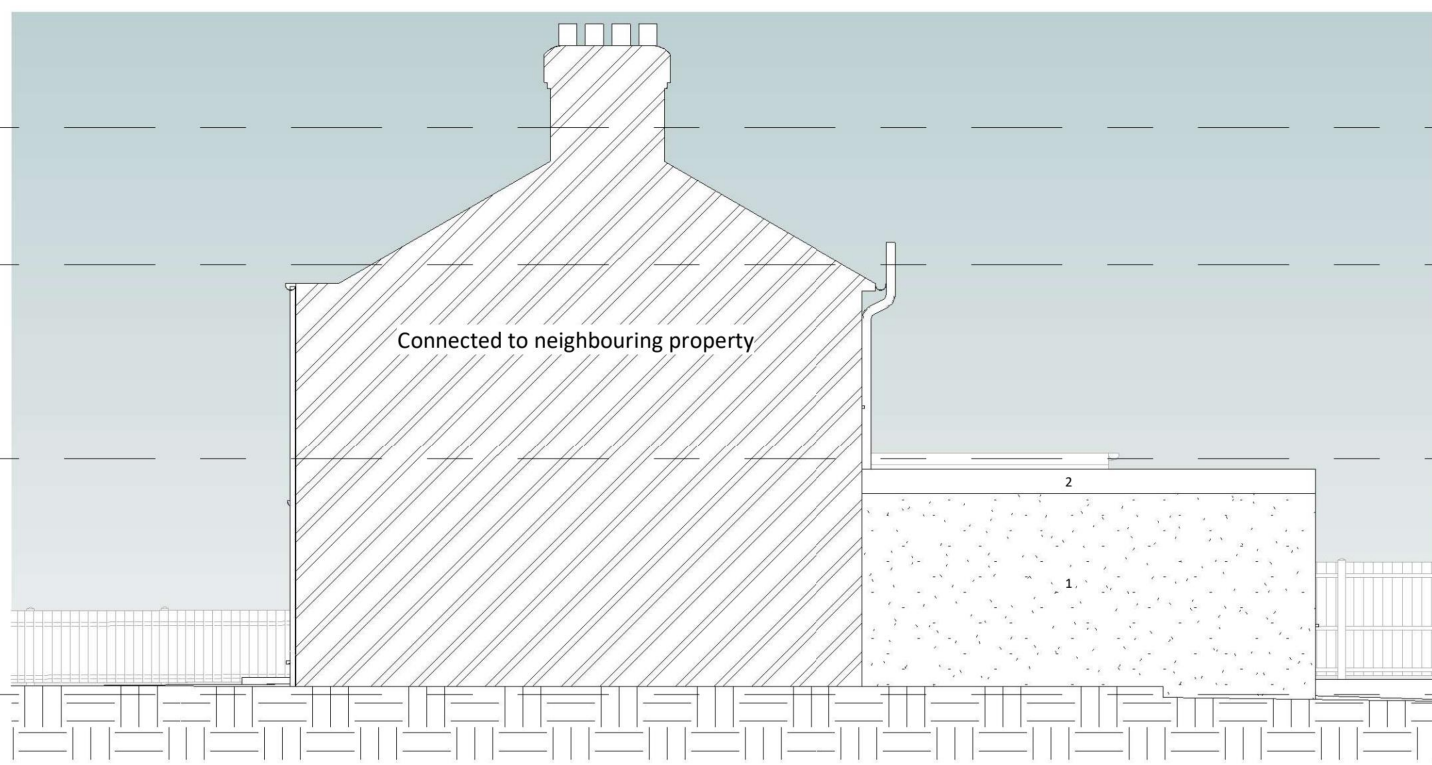
Bluetime Architecture
(01322 521026)

THE ARCHITECTS
OF LONDON
OF BLUETIME

5 Acacia Avenue		
Drawn By : SB	Scale : As indicated	Date : 18/09/2025
Drawing number : BL/DRG/30082025/ 05		Rev :
[INDICATIVE PLANNING APPLICATION DRAWINGS ONLY - NOT FOR CONSTRUCTION]		



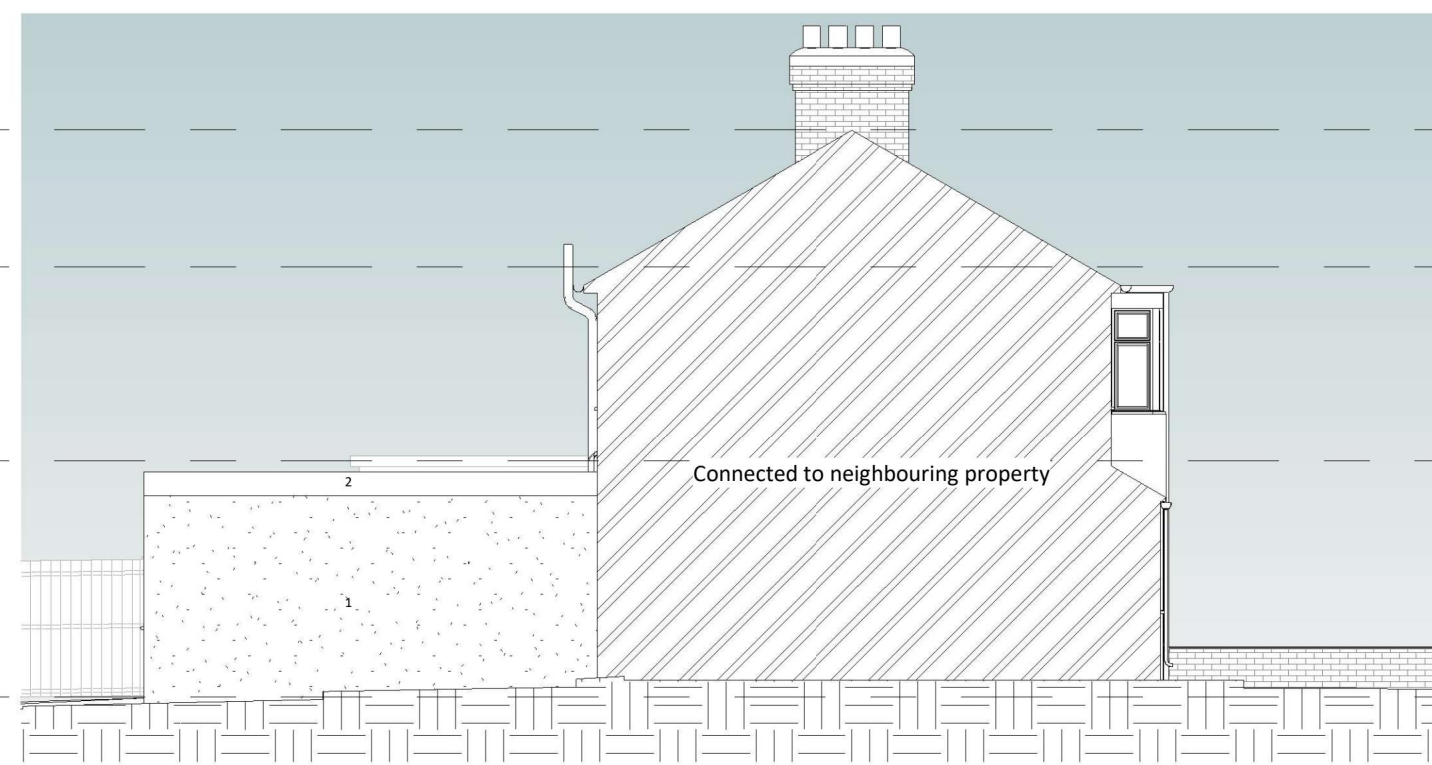
1 Proposed Front Elevation
1 : 100



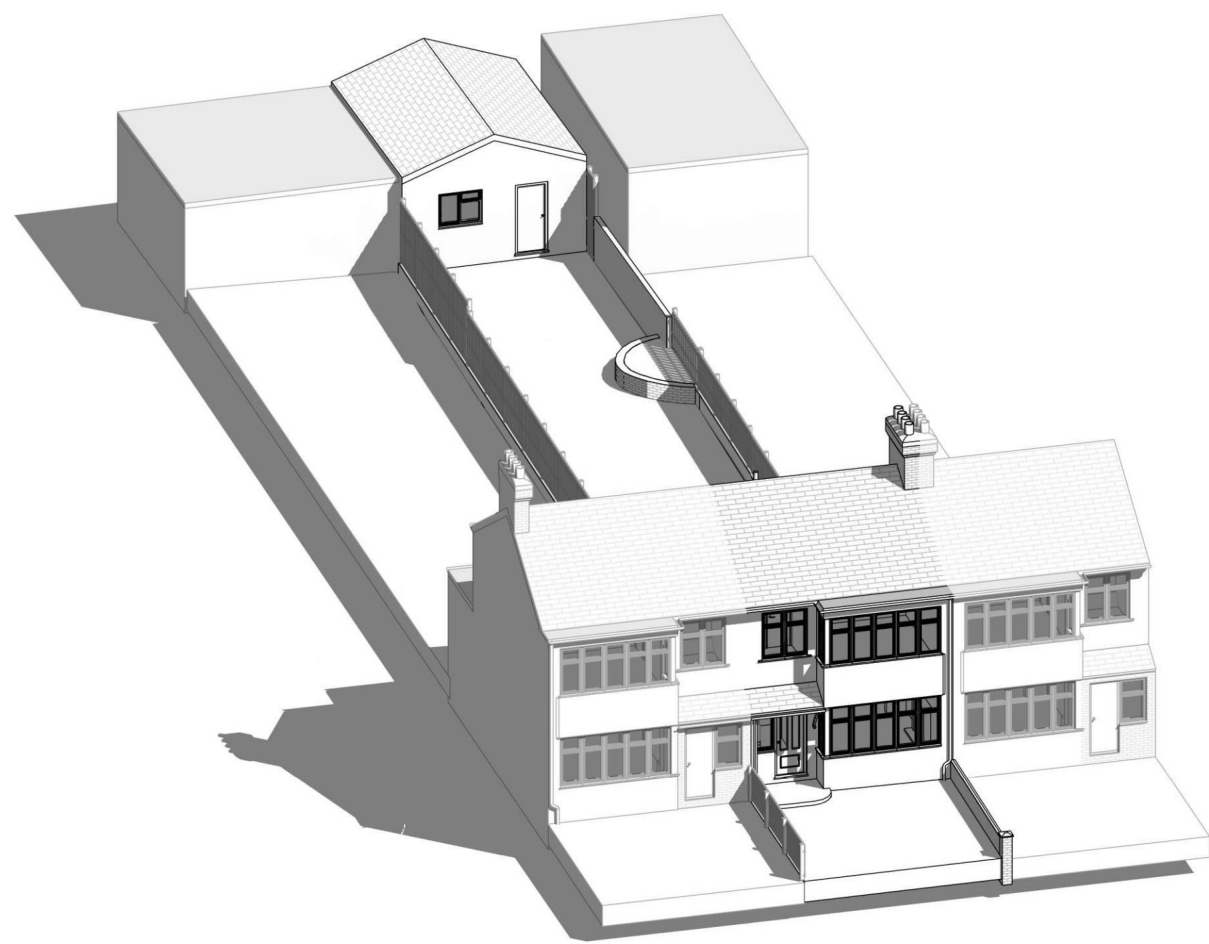
2 Proposed Right Elevation
1 : 100



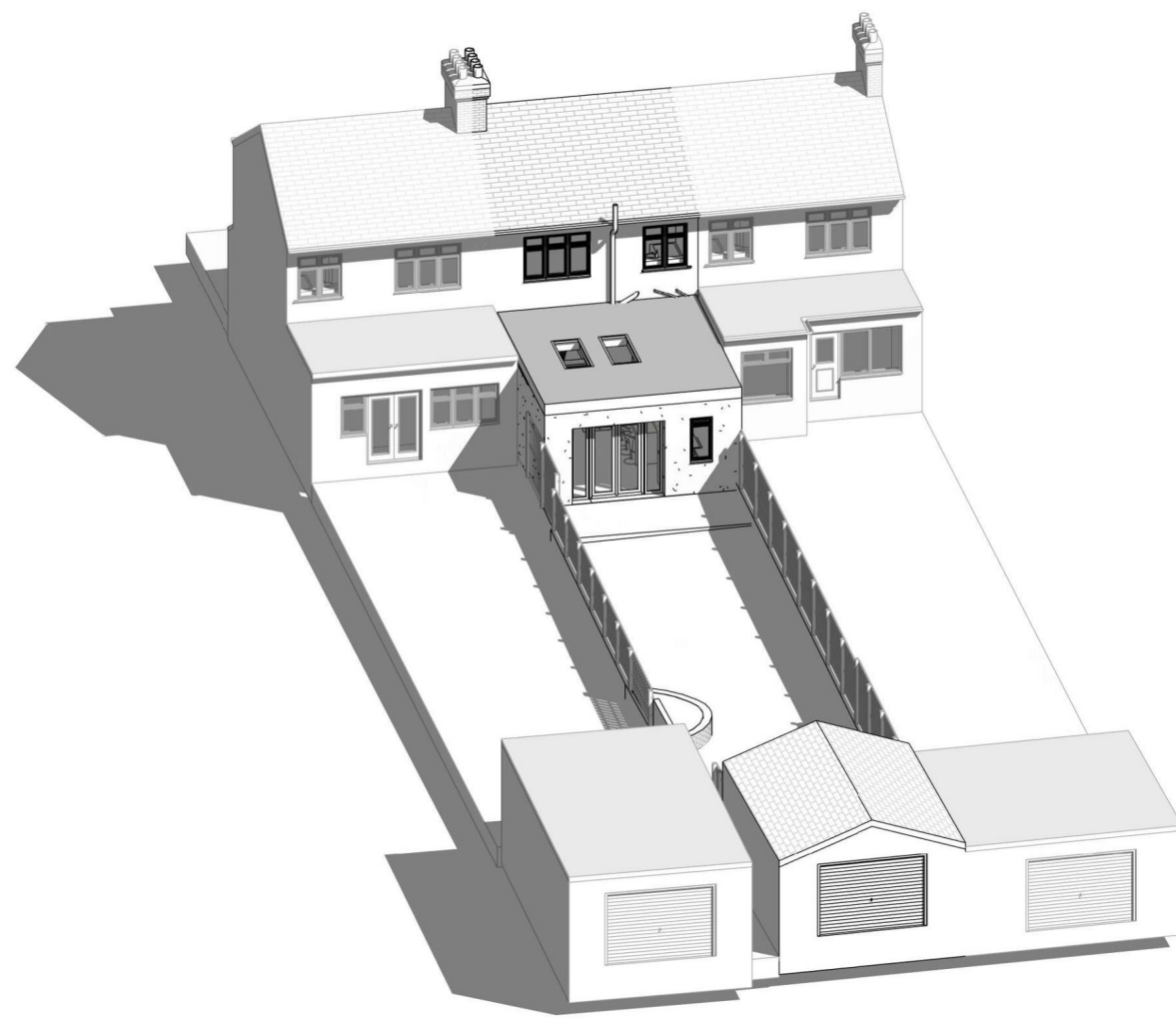
3 Proposed Rear Elevation
1 : 100



4 Proposed Left Elevation
1 : 100



5 Proposed 3D Front



6 Proposed 3D Rear

---	DRAINAGE STORM NEW
---	DRAINAGE STORM EXISTING
---	DRAINAGE STORM EXISTING REMOVED
---	DRAINAGE FOUL NEW
---	DRAINAGE FOUL EXISTING
---	DRAINAGE FOUL EXISTING REMOVED
---	DRAINAGE COMBINED NEW
---	DRAINAGE COMBINED EXISTING
---	DRAINAGE COMBINED EXISTING REMOVED

EXTERNAL FINISHES SCHEDULE	
1	Walls: Render to match the existing.
2	GRP Flat Roof
3	Windows - White uPVC to match the existing.
4	Doors: French Door white uPVC to match the existing
5	White/Clear Velux Roof Lights (Triple Glazed recommended)
6	Black UPVC Guttering to match existing
7	
8	
9	
10	
11	
12	
13	
14	
15	

Amendments :			
Rev	Desc	Date	Description

Project :

5 Acacia Avenue

Title :
Planning Drawings
Proposed Elevations and 3D Views

The Architects Of London (0203 903 9093) Bluetime Architecture (01322 521026)	THE ARCHITECTS OF LONDON OF BLUETIME
	blue lime®

5 Acacia Avenue

Drawn By : SB	Scale : 1 : 100	@ A1 Date : 18/09/2025
------------------	--------------------	---------------------------

Drawing number : BL/DRG/30082025/ 06	Rev :
---	-----------

[INDICATIVE PLANNING APPLICATION DRAWINGS ONLY -
NOT FOR CONSTRUCTION]