

OFFICER REPORT FOR DECISION UNDER DELEGATED AUTHORITY

APPLICATION NO: P0789.25

WARD: Emerson Park

Date Received: 12th June 2025

ADDRESS: 1 Wych Elm Road
Hornchurch

PROPOSAL: Part single-storey, part two-storey rear extension, alterations to fenestration and rooflights to front and rear.

DRAWING NO(S): 218-001
218-002
218-003 B
218-004 C
218-005 C
218-006 C
Location Plan

RECOMMENDATION: It is recommended that **planning permission be GRANTED** subject to the condition(s) given at the end of the report

DESCRIPTION OF PROPOSAL

Planning permission is sought for a part single-storey, part two-storey rear extension, alterations to fenestration and rooflights to front and rear.

1. The ground floor element of the extension would project 4m deep and 3m high with a flat roof.
2. The first floor element of the extension would project 3m deep with a hipped roof.

RELEVANT HISTORY

ES/HOR 1424/53 - Of 14 Houses & Garages (Approved)

36/61 - Private Garage (Refused)

291/63 - Extension (Approved)

P1210.13	Change of use of garage to a habitable room and ground floor rear extension
	Apprv with cons
	26-11-2013

CONSULTATIONS/REPRESENTATIONS

Surrounding neighbouring occupants, including ones adjoining the application site, were consulted about this application. No representations were received.

The following comments were also received from the stakeholders below:

- * UK Power Network - LV underground cables run within close proximity to the proposed development. Accurate records should be obtained from the UK Power Network Plan Provision Department prior to commencement of works. All works should be undertaken with due regard to Health & Safety Guidance notes HS(G)47 (Avoiding Danger from Underground Services). Should any diversion works be necessary as a result of the development, enquiries should be made to Customer Connections Department.

RELEVANT POLICIES

- * NPPF

- * London Plan (2021)

- Policy D1 - London's form, character and capacity for growth
- Policy D4 - Delivering good design

- * Havering Council Local Plan (2016-31)

- Policy 7 (Residential design and amenity)
- Policy 26 (Urban Design)

- * Residential Extensions and Alterations Supplementary Planning Document

MAYORAL CIL IMPLICATIONS

This application is not CIL liable because the newly created floor space from the proposed developments would not exceed 100 square metres.

STAFF COMMENTS

In accordance with the current criteria for site visits, an in-person site visit was not undertaken as one was not judged to be necessary. Site photographs provided in support of the application, Google Street View, aerial view images and the submitted drawings were used to assess the proposal and the site's constraints.

The proposals originally submitted with the application included a rear extension projecting 4m deep at first floor level with a gabled roof. This was reduced to 3m with a hipped roof during the

application process. Given that these changes would result in the proposals having a reduced impact on neighbouring properties, it was not considered necessary to re-consult the neighbours about the amended proposals.

Subject to any conditions imposed, the proposed development is acceptable in terms of its appropriate design, scale and mass. The proposal will not cause any significant adverse impacts to the amenities of neighbouring properties or the character and appearance of the area. The proposed development is in accordance with the policies of the Local Plan, including Policies 7 and 26 of the Local Plan. The proposed development accords generally with the guidance in the Residential Extensions and Alterations Document.

Conditions will be imposed requiring preventing the roof of the extension from being used as a balcony or any window or other opening being inserted in the flank walls of the proposal unless specific permission has been sought and obtained in writing from the Local Planning Authority first to ensure the extension would not result in any loss of privacy.

Overall, therefore, it is considered that the proposed developments would be acceptable and therefore it is recommended that planning permission is GRANTED subject to conditions.

RECOMMENDATION:

It is recommended that **planning permission be GRANTED** subject to the following condition(s)

1 SC4 (Time limit) 3yrs

The development to which this permission relates must be commenced not later than three years from the date of this permission.

Reason:-

To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2 SC32 (Accordance with plans)

The development hereby permitted shall not be carried out otherwise than in complete accordance with the approved plans (as set out on page one of this decision notice).

Reason:-

For the avoidance of doubt and to ensure that the development is carried out as approved.

3 SC10 (Matching materials)

All new external finishes shall be carried out in materials to match those of the existing building to the satisfaction of the Local Planning Authority.

Reason:-

To safeguard the appearance of the premises and the character of the immediate area.

4 SC46 (Standard flank window condition)

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015, no window or other opening (other than those shown on the submitted and approved plans) shall be formed in the flank walls of the buildings hereby permitted, unless specific permission under the provisions of the Town and Country Planning Act 1990 has first been sought and obtained in writing from the Local Planning Authority.

Reason:-

In order to ensure a satisfactory development that will not result in any loss of privacy or damage to the environment of neighbouring properties which exist or may be proposed in the future.

5 SC48 (Balcony condition)

The roof area of the extensions hereby permitted shall not be used as a balcony, roof garden or similar amenity area without the grant of further specific permission from the Local Planning Authority.

Reason:-

In the interests of the amenity of the occupiers of neighbouring dwelling.

INFORMATIVES

1 Non Standard Informative 1

The applicant should note that there are LV underground cables run within close proximity to the proposed development.

The applicant is advised to obtain accurate records from the Plan Provision Department of UK Power Network prior to commencement of works.

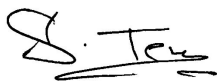
All works should be undertaken with due regard to Health & Safety Guidance notes HS(G)47 (Avoiding Danger from Underground Services).

Should any diversion works be necessary as a result of the development, enquiries should be made to the Customer Connections Department of UK Power Network. The address is UK Power Networks, Metropolitan House, Drakes Lane, Potters Bar, EN6 1AG.

2 Approval following revision ENTER DETAILS

Statement Required by Article 35 (2) of the Town and Country Planning (Development Management Procedure) (England) Order 2015: In accordance with paragraph 38 of the National Planning Policy Framework, improvements required to make the proposal acceptable were negotiated with the planning agent via email on 30/07/2025 and telephone on 06/08/2025. The revisions involved amending the design of the first floor rear element of the proposals from a gabled roof to a hipped roof and reducing its depth from 4m to 3m. The amendments were subsequently submitted on 07/08/2025.

Authorising Officer:

A handwritten signature in black ink, appearing to read 'S. Terry', with a horizontal line underneath.

Suzanne Terry

7th August 2025