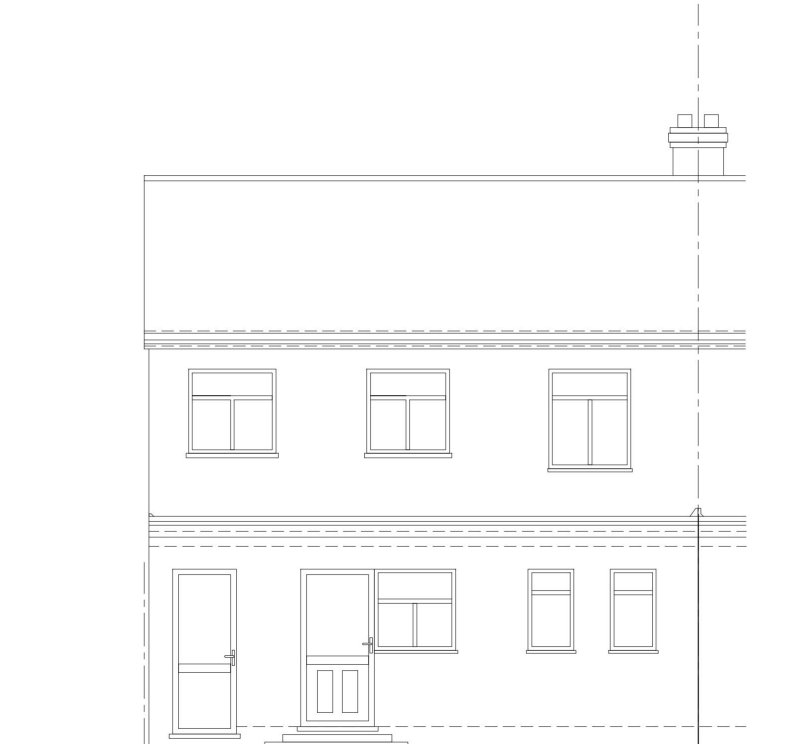
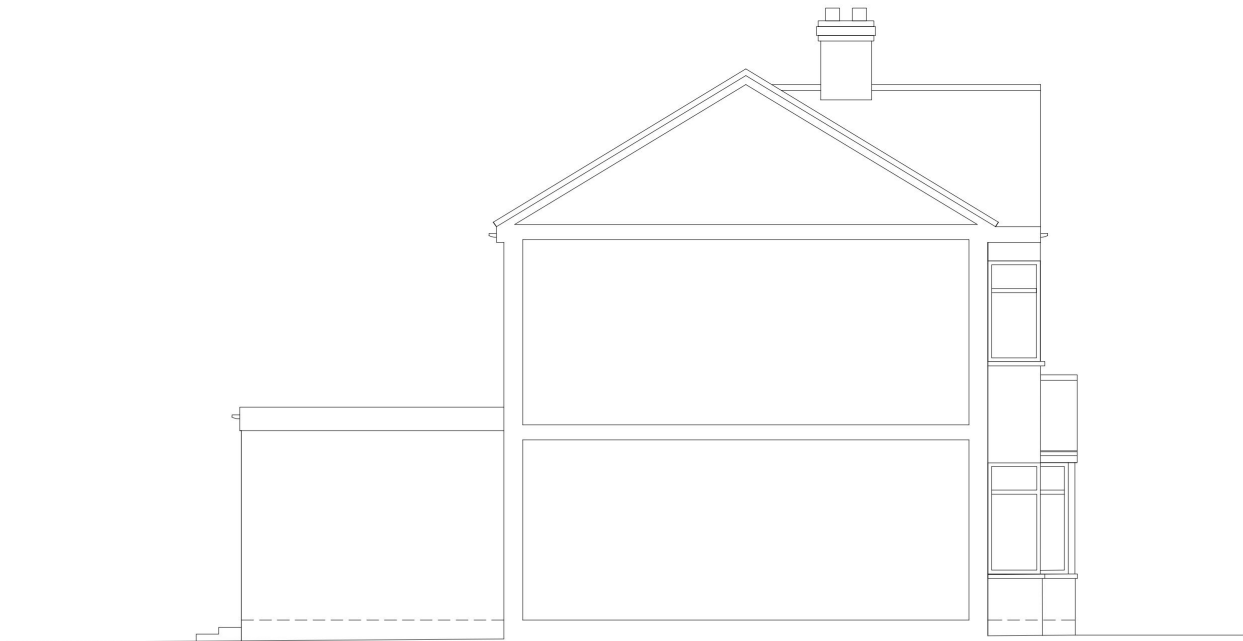




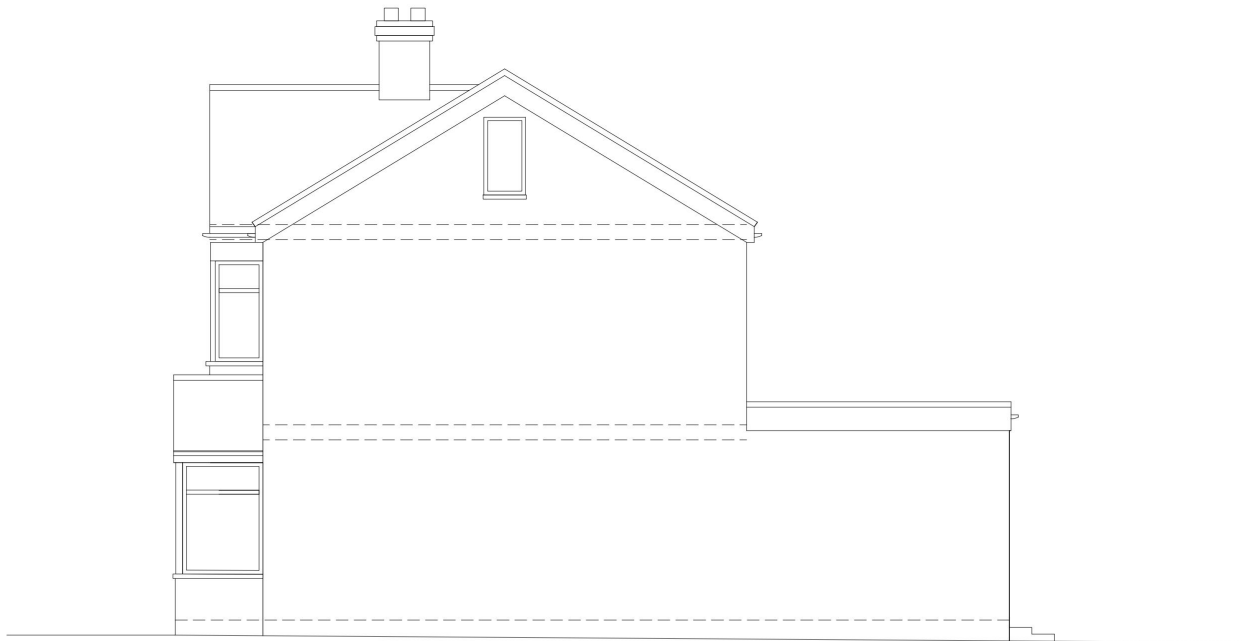
EXISTING FRONT ELEVATION 1:100



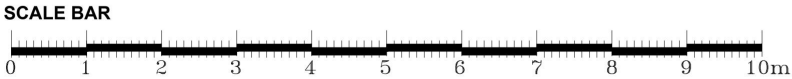
EXISTING REAR ELEVATION 1:100



EXISTING LEFT SIDE ELEVATION 1:100



EXISTING RIGHT SIDE ELEVATION 1:100



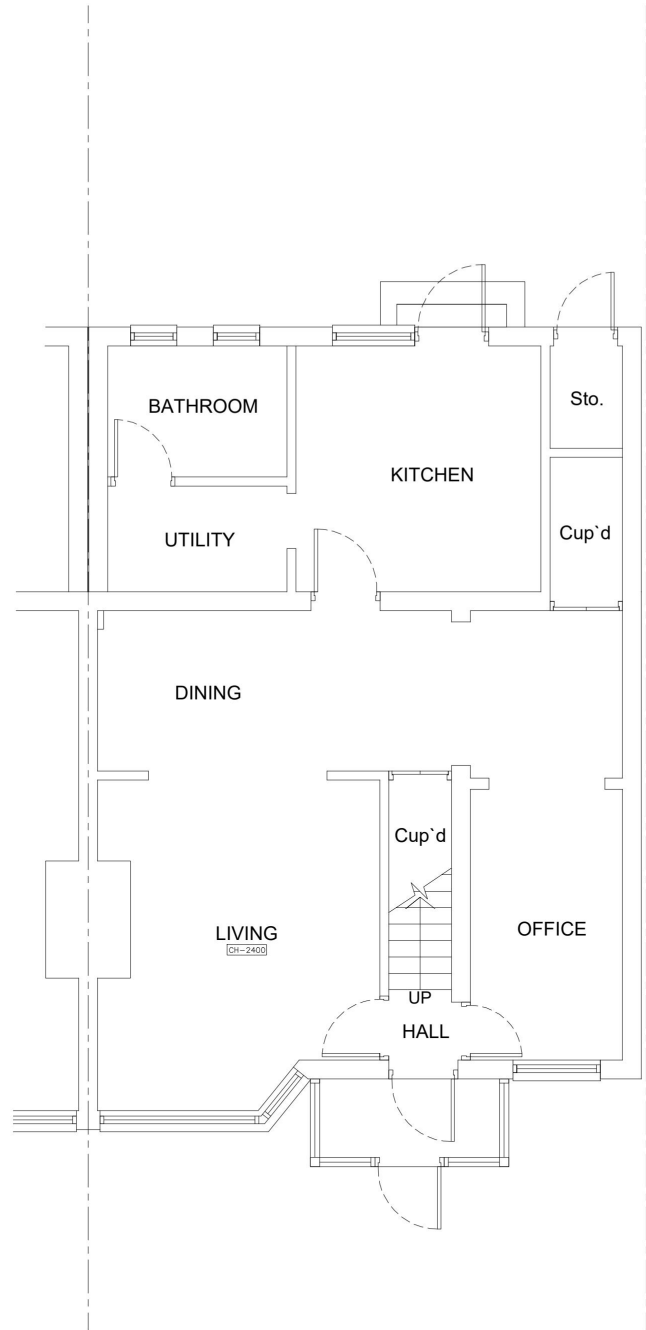
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Drawings Status:
Planning

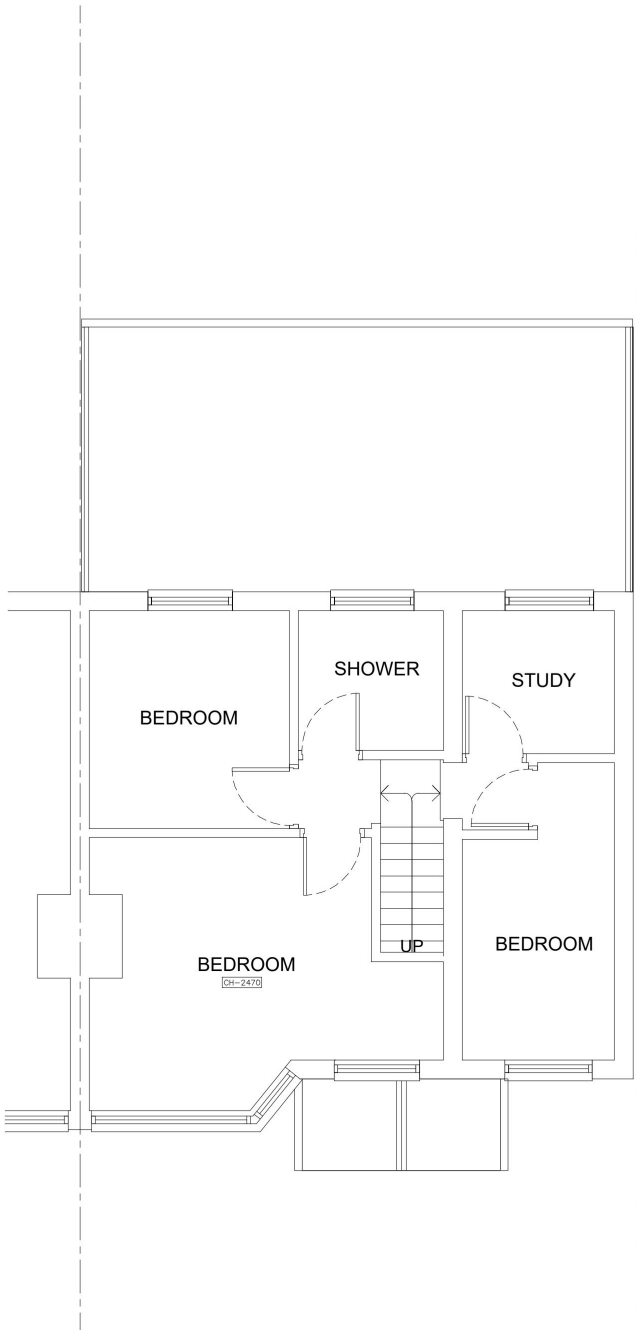
Revision:	Description:	Date:
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Client	Mr Momad Afsal Abdulgani 11 Ramsden Drive, Romford, RM5 2NJ	Scale	1:100 @A3	Date	July 2025
Scheme	Loft conversion with rear dormer	Drawn by: EG Checked by: AK Approved by: AK	Revision:	---	
Title	Existing Elevations	Drawing No.	2511/03/RR/03		

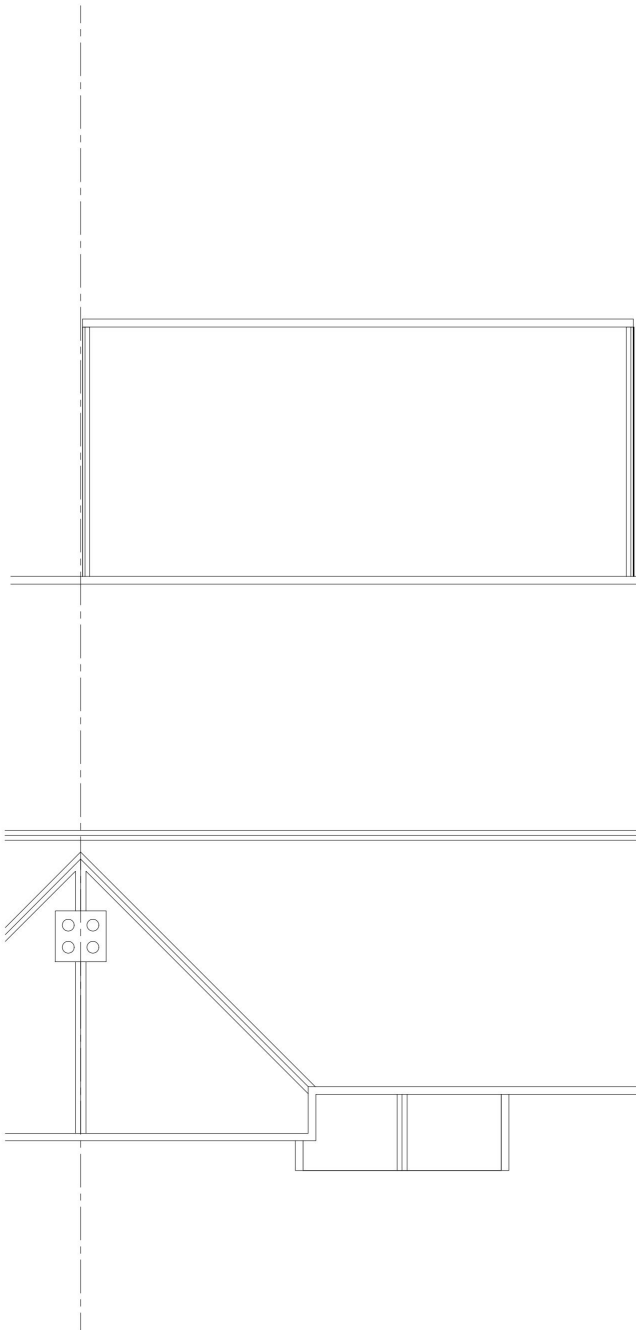
**Eric Garcia**
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66 Brittain Road, Dagenham, Essex, RM8 3DB
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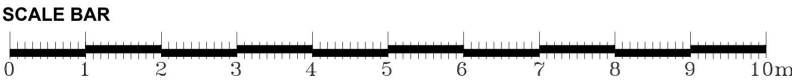
EXISTING GROUND FLOOR PLAN 1:100



EXISTING FIRST FLOOR PLAN 1:100



EXISTING ROOF PLAN 1:100



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Drawings Status:	Revision:	Description:	Date:
Planning			

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Scheme	Loft conversion with rear dormer	Drawn by: EG Checked by: AK Approved by: AK	Revision:		
Title	Existing Plans	Drawing No.	2511/03/RR/01		

**Eric Garcia**
Architectural Design

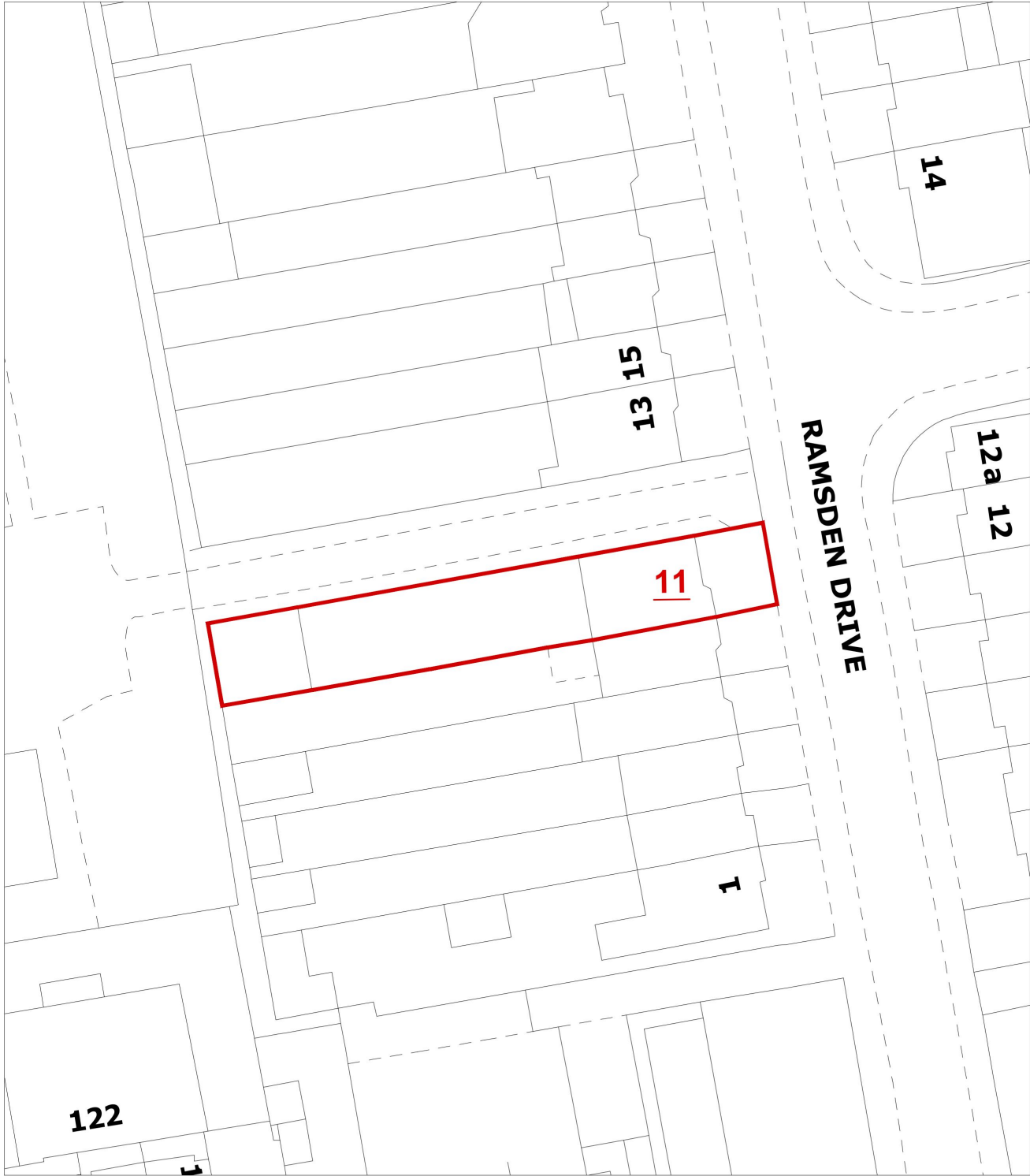
66 Brittain Road, Dagenham, Essex, RM8 3DB
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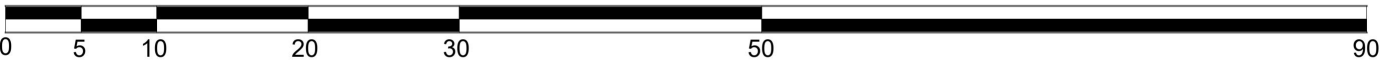
SCALE BAR 1:1250



LOCATION PLAN 1:1250



SCALE BAR 1 : 500



BLOCK PLAN 1:500

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Drawings Status:
Planning

Revision:	Description:	Date:
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Client	Mr Momad Afsal Abdulgani 11 Ramsden Drive, Romford, RM5 2NJ	Scale 1:1250 & 1:500 @A3	Date July 2025
Scheme	Loft conversion with rear dormer	Drawn by: EG Checked by: AK Approved by: AK	Revision: ---
Title	Location & Block Plans	Drawing No. 2511/03/RR/S1	

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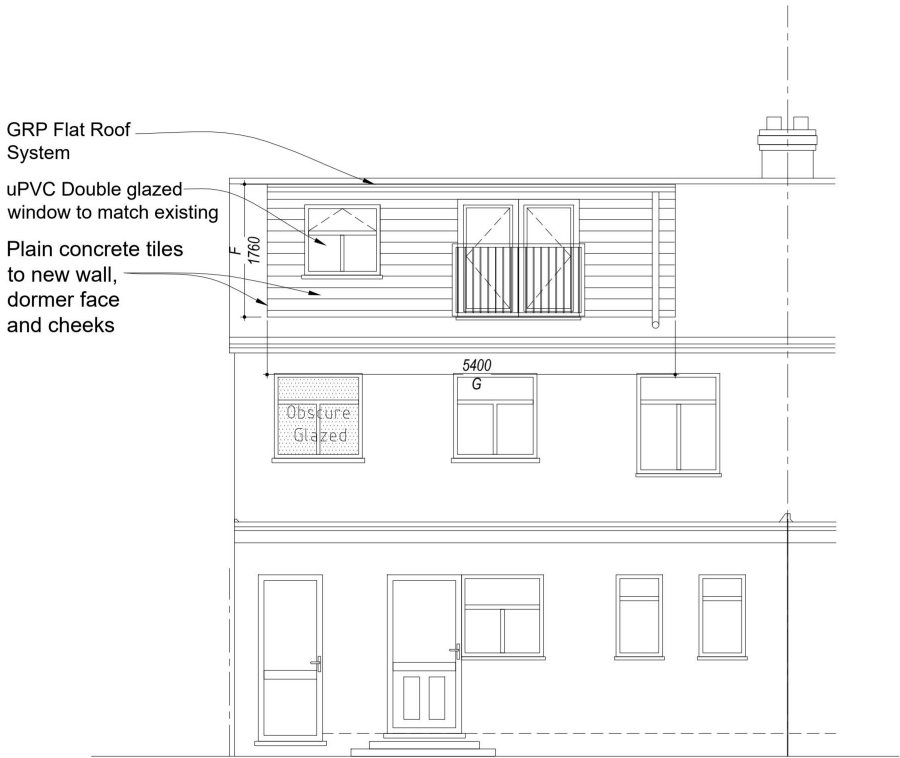
PLEASE NOTE:
MATCHING MATERIALS WILL BE USED FOR
THE LOFT CONVERSION TO MATCH THE
EXISTING SURROUNDING APPROVED
DEVELOPMENT.

ANY ROOF LIGHTS DOES NOT PROJECT MORE
THAN 150mm ABOVE THE PLANE OF THE
ROOF

ANY GLAZING TO SIDE ELEVATIONS SHOULD
BE OBSCURED GLAZING AND NOT OPENING
ABOVE 1.7M.



PROPOSED FRONT ELEVATION 1:100



PROPOSED REAR ELEVATION 1:100

**CALCULATION FOR THE ROOF VOLUME
(Hip to gable with a rear dormer)**

V1-Volume of the triangular Prism
area of the triangle x its length
 $A \times C / 2 \times (D \times 2) = M^3$
 $6.450 \times 2.310 / 2 \times (5.550 \times 2)$
V1 = 82.69m³

V2-Volume of the Pyramid
base area x $\frac{1}{3}$ height
 $A \times (D \times 2) \times \frac{1}{3} C = M^3$
 $6.450 \times (5.550 \times 2) \times \frac{1}{3} \times 2.310$
V2 = 55.13m³

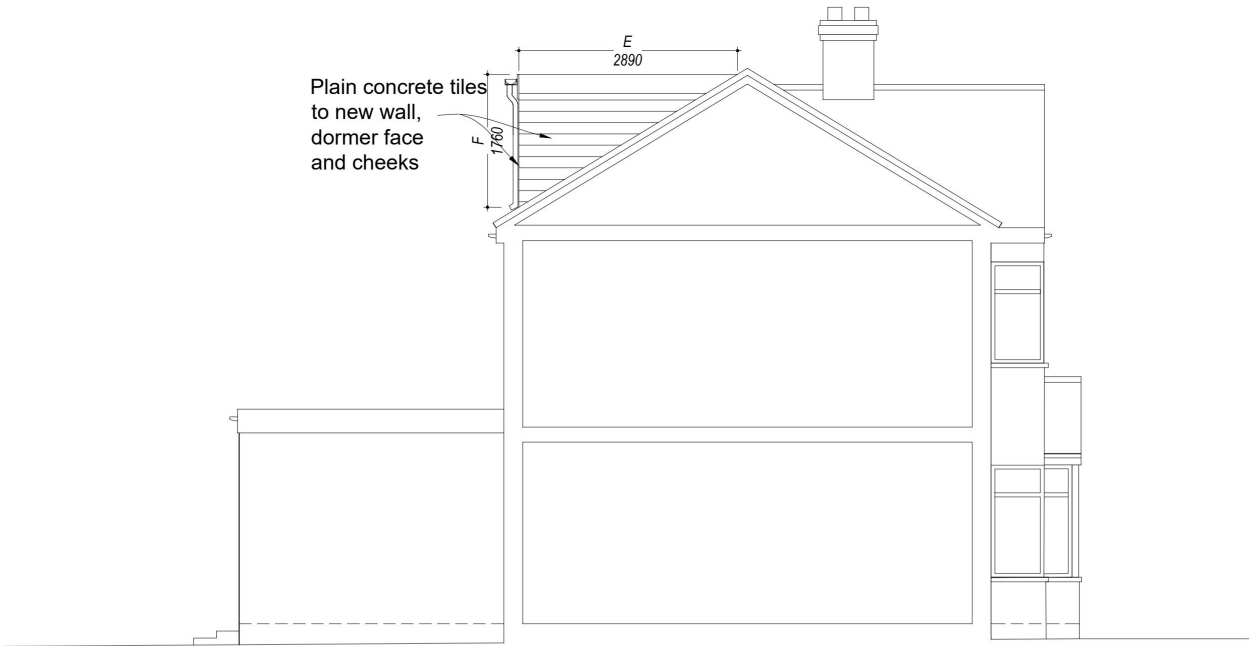
Volume of the additional segment
Hip to Gable
V1-V2 / 2 = m³

$82.69 - 55.13 / 2$
V1V2 = 13.78m³

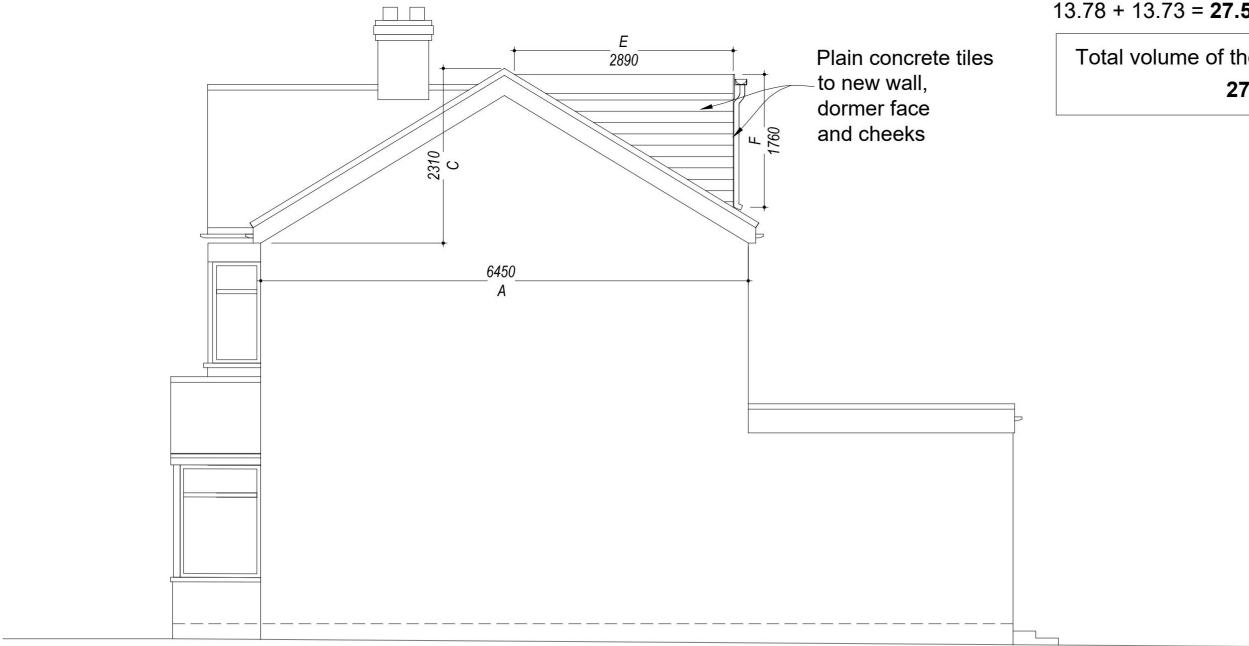
V3- Volume of the additional rear dormer
area of the triangle x its length
 $(E \times F \times G / 2) = M^3$
 $2.890 \times 1.760 \times 5.400 / 2$
V3 = 13.73m³

V1V2+V3=m³
 $13.78 + 13.73 = 27.50m^2$

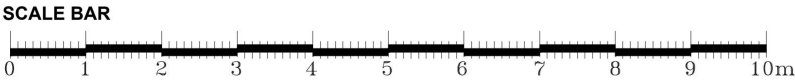
Total volume of the development in the roof
27.50m³



PROPOSED LEFT SIDE ELEVATION 1:100



PROPOSED RIGHT SIDE ELEVATION 1:100

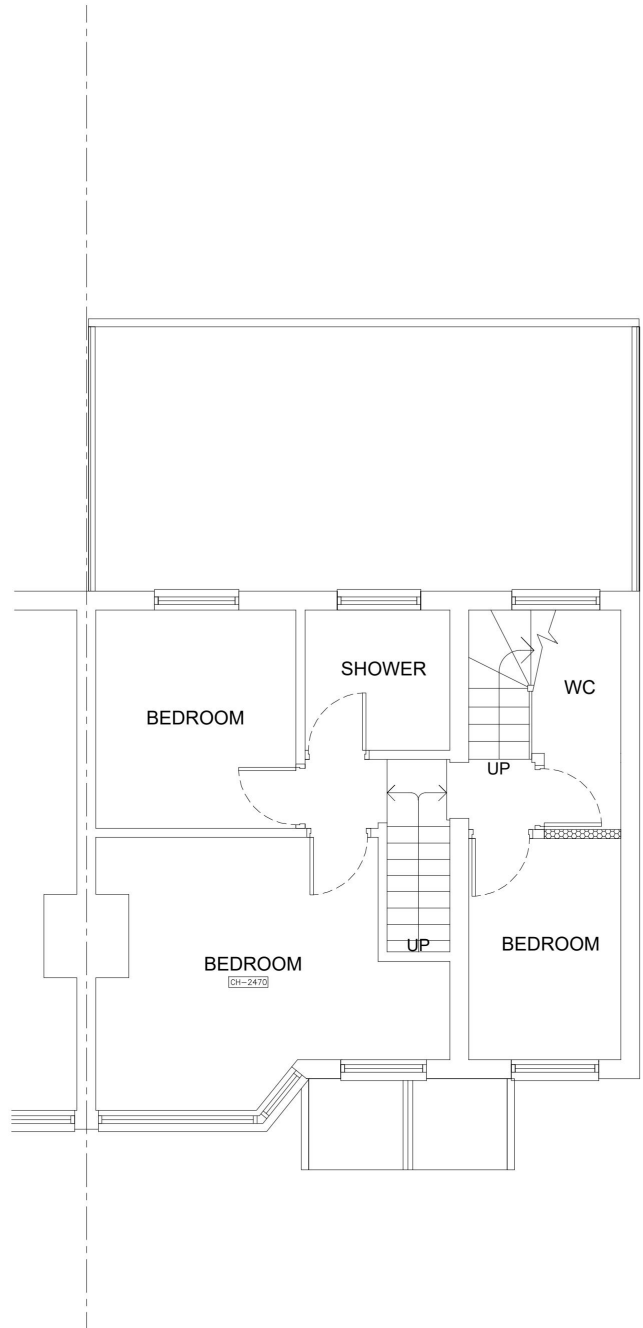


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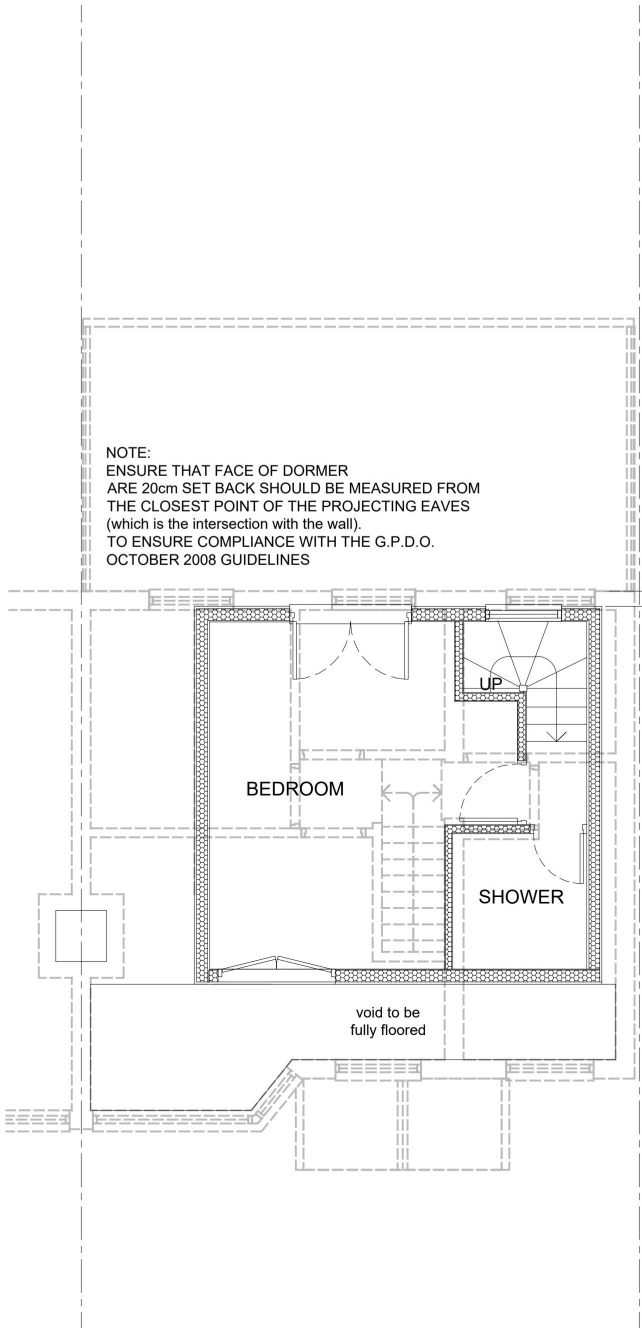
Drawings Status:	Revision:	Description:	Date:
Planning			

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Title	Proposed Elevations	Drawing No.	2511/03/RR/ 04		

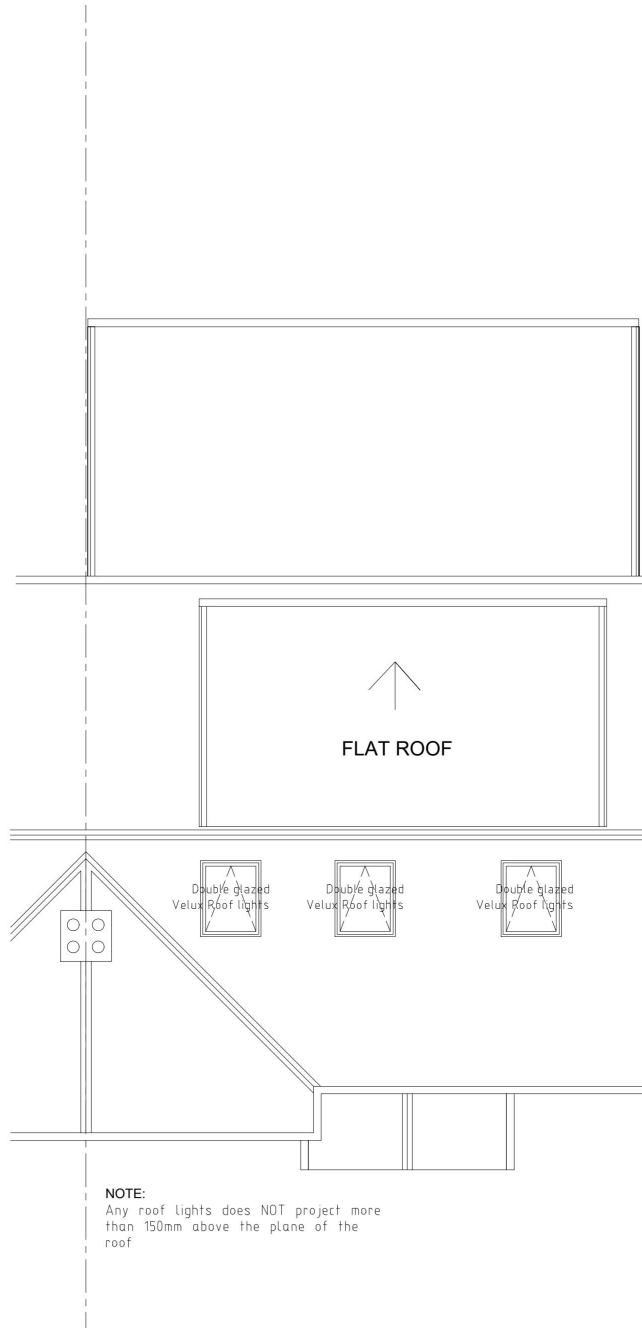
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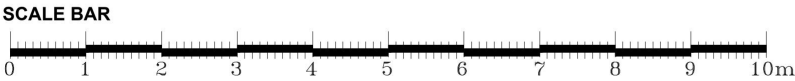
PROPOSED FIRST FLOOR PLAN 1:100



PROPOSED LOFT FLOOR PLAN 1:100



PROPOSED ROOF PLAN 1:100



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