

OFFICER REPORT FOR DECISION UNDER DELEGATED AUTHORITY

APPLICATION NO: P0559.25

WARD: Upminster **Date Received:** 22nd April 2025

ADDRESS: 89 Argyle Gardens
Upminster

PROPOSAL: Single storey rear extension following demolition of existing extension, including erection of front infill extension

DRAWING NO(S): 2025 PL-01C
2025 PL-02E

RECOMMENDATION: It is recommended that **planning permission be GRANTED** subject to the condition(s) given at the end of the report

SITE DESCRIPTION

The application site houses a semi-detached residential 2-storey dwelling house with a rear extension and loft conversion.

The property is not listed, nor is it within a conservation area. No trees will be affected as a result of this proposal. The surrounding area is residential in nature, containing mainly semi-detached houses. There are various extensions in close proximity.

DESCRIPTION OF PROPOSAL

The applicant is seeking planning consent for single storey infill rear extension - beyond the previously added extension (1.7m). The maximum depth would be 3.4m beyond the previous extension. The proposed extension would not be full width - as it would be set away from the boundary with the none attached building by about 1.3m.

The proposal would also include a small infill extension to the front, which also include the reposition of the entrance from side elevation to the front.

RELEVANT HISTORY

P1372.06	Part hip to gable with rear dormer window. (Re-submission of application no. P0891.06)
	Apprv with cons 29-08-2006
P0875.01	Single storey side/rear extension
	Apprv with cons 03-08-2001

CONSULTATIONS/REPRESENTATIONS

Letters were sent to the immediate neighbouring properties. No objections received.

RELEVANT POLICIES

Havering Local Plan Adopted November 2021

- Policy 7 Residential Design and Amenity
- Policy 24 Parking provision and design
- Policy 26 Urban Design

Residential Extensions and Alterations Supplementary Planning Document Adopted 2011 (SPD)

MAYORAL CIL IMPLICATIONS

Contributions would not be required under CIL regulations as the proposal would result in a net increase of less than 100m².

STAFF COMMENTS

An in-person site visit was not undertaken. In determining this planning application, photos, Google street view, aerial view images and submitted drawings were used to assess the site constraints.

DESIGN/IMPACT ON STREET/GARDEN SCENE

The proposed extension would be 3.4m deep - which would be subordinate in scale to the main dwelling, meeting guidance in the SPD. It would integrate well with the main dwelling.

The alteration to the front will be similar to the alteration to the adjoining pair - hence symmetry will be restored.

IMPACT ON AMENITY

Consideration has been given to the impact of the proposal on the neighbouring properties, primarily in respect of overshadowing, loss of light and loss of privacy.

Both adjoining houses benefit from single storey rear extension.

The extension would have minimal impact on the amenity of the attached neighbour, which has been extended and no material impact on the unattached neighbour, which is well separated from the extension.

There would be no windows in the flank walls of the extension, so there would be no overlooking issues. Conditions are imposed to ensure the amenities of the adjoining occupiers would be safeguarded.

Overall, the development would not be un-neighbourly.

HIGHWAY/PARKING

The front garden has hardstanding for off-road parking for a car. No issue would arise from the proposed development

KEY ISSUES/CONCLUSIONS

Approval subject to conditions is recommended.

RECOMMENDATION:

It is recommended that **planning permission be GRANTED** subject to the following condition(s)

1 SC4 (Time limit) 3yrs

The development to which this permission relates must be commenced not later than three years from the date of this permission.

Reason:-

To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2 SC10 (Matching materials)

All new external finishes shall be carried out in materials to match those of the existing building(s) to the satisfaction of the Local Planning Authority.

Reason:-

To safeguard the appearance of the premises and the character of the immediate area.

3 SC32 (Accordance with plans)

The development hereby permitted shall not be carried out otherwise than in complete accordance with the approved plans (as set out on page one of this decision notice).

Reason:-

For the avoidance of doubt and to ensure that the development is carried out as approved.

4 SC46 (Standard flank window condition)

Notwithstanding the provisions of the Town and Country Planning (General Permitted

Development) (England) Order 2015, no window or other opening (other than those shown on the submitted and approved plan,) shall be formed in the flank walls of the extension hereby permitted, unless specific permission under the provisions of the Town and Country Planning Act 1990 has first been sought and obtained in writing from the Local Planning Authority.

Reason:-

In order to ensure a satisfactory development that will not result in any loss of privacy or damage to the environment of neighbouring properties which exist or may be proposed in the future.

5 SC48 (Balcony condition)

The roof area of the extension hereby permitted shall not be used as a balcony, roof garden or similar amenity area without the grant of further specific permission from the Local Planning Authority.

Reason:-

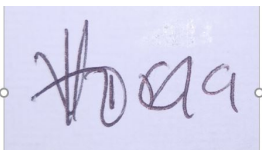
In the interests of the amenity of the occupiers of neighbouring dwelling.

INFORMATIVES

1 Approval - No negotiation required

Statement Required by Article 35(2) of the Town and Country Planning (Development Management) Order 2015: No significant problems were identified during the consideration of the application, and therefore it has been determined in accordance with paragraph 38 of the National Planning Policy Framework.

Authorising Officer:

A handwritten signature in purple ink, appearing to read 'Victoria Collins', is shown within a light blue rectangular box. The signature is stylized and cursive.

Victoria Collins

2nd July 2025