

OFFICER REPORT FOR DECISION UNDER DELEGATED AUTHORITY

APPLICATION NO: P0545.25

WARD: Gooshays **Date Received:** 14th April 2025

ADDRESS: 34 Penrith Road
Romford

PROPOSAL: Proposed loft conversion including a rear dormer window with juliette balcony.

DRAWING NO(S): PR 01B

RECOMMENDATION: It is recommended that **planning permission be GRANTED** subject to the condition(s) given at the end of the report

SITE DESCRIPTION

The application site is occupied by a terraced property. The site offers off-street car parking at the front of the property and a garden at the rear of the site. The surrounding area is characterised by terraced and semi-detached residential properties.

The site is not within a conservation area and the building is not listed.

DESCRIPTION OF PROPOSAL

Planning permission is sought for a proposed loft conversion including a rear dormer window with juliette balcony.

RELEVANT HISTORY

CONSULTATIONS/REPRESENTATIONS

A consultation was carried with neighbouring sites in the area. No comments have been received.

RELEVANT POLICIES

Havering Local Plan (adopted 2021)
Policy 7 - Residential Design and Amenity
Policy 10 - Garden and backland development
Policy 24 - Parking provision and design

Policy 26 - Urban Design

The London Plan (2021)

Policy D1 - London's form, character and capacity for growth

Policy D4 - Delivering good design

Policy T6 - Car parking

OTHER

National Planning Policy Framework (Dec 2024)

Havering Residential Extensions and Alterations SPD (2011)

MAYORAL CIL IMPLICATIONS

The application is not CIL liable.

STAFF COMMENTS

Under section 4 of the application form, the applicant indicated 'no' to the proposed development requiring any material to be used externally. Although, upon review the proposal would introduce a rear dormer with external materials detailed on the submitted plans.

Following a concern relating to the size/scale of the dormer, the applicant submitted revised plans to address the concern raised by the LPA.

DESIGN/IMPACT ON STREET/GARDEN SCENE

Policy 26 of The Havering Local Plan sets out to promote high quality design that contributes to the creation of successful places by supporting development proposals that, respect and complement the distinctive qualities, respect reinforce and complement the local street scene and respect the visual integrity and established scale of the building.

The Residential Extensions & Alterations SPD stipulates dormers should be contained well within the body of the roof, by being set well back from the eaves, and by setting the sides well in from any gables or party walls. Dormers must never extend above the ridge line of the roof and should be located well below it.

As initially proposed the rear dormer was considered a dominant and incongruous addition to the terraced property. Whilst there are dormers of a similar scale within the street scene, relevant policies and guidance do not support the proposed dormer. The applicant was offered the opportunity to reduce the size/scale of the proposed dormer to ensure it would accord with the relevant guidance.

Following the reduction in size, the proposed dormer by virtue of its siting at the rear, scale, design and material finishing is not considered detrimental to the character and appearance of the dwelling house and surrounding area.

IMPACT ON AMENITY

Policy 7 of The Havering Local Plan states residential development should provide an attractive, safe and accessible living environment for new residents whilst ensuring that the amenity and quality of life of existing and future residents is not impacted. The council will support developments that do not result in unacceptable overlooking or loss of privacy or outlook, unacceptable loss of daylight and sunlight as well as unacceptable levels of noise, vibration and disturbance.

The proposed rear dormer due to its siting, scale, size and design would preserve the amenities of the neighbouring occupants in terms of outlook, sun/daylight and would not appear overbearing. The proposed Juliet balcony and window on the dormer would offer oblique views towards the neighbouring rear gardens, although it is noted mutual overlooking is currently afforded within such urban areas. The proposal is considered to have limited impact on the amenity of the neighbouring occupiers.

HIGHWAY/PARKING

The proposal is not considered have adverse impact on parking and highway safety.

KEY ISSUES/CONCLUSIONS

The proposal is considered to be in accordance with the above mentioned policies and guidance and approval is recommended.

RECOMMENDATION:

It is recommended that **planning permission be GRANTED** subject to the following condition(s)

1 SC4 (Time limit) 3yrs

The development to which this permission relates must be commenced not later than three years from the date of this permission.

Reason:-

To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2 SC32 (Accordance with plans)

The development hereby permitted shall not be carried out otherwise than in complete accordance with the approved plans (as set out on page one of this decision notice).

Reason:-

For the avoidance of doubt and to ensure that the development is carried out as approved.

3 Non Standard Condition 31

The external materials used in the construction of the rear dormer hereby approved shall be as set out on the approved plans (drawing No.PR 01B) unless otherwise agreed in writing by the Local Planning Authority.

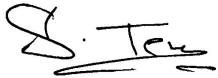
Reason: To ensure that the appearance of the proposed development will harmonise with the character of the surrounding area and in accordance with Policy 26 of The Havering Local Plan (adopted 2021).

INFORMATIVES

1 Approval following revision ENTER DETAILS

Statement Required by Article 35 (2) of the Town and Country Planning (Development Management Procedure) (England) Order 2015: In accordance with paragraph 38 of the National Planning Policy Framework, improvements required to make the proposal acceptable were negotiated with the agent by email. The revisions involved the correction of proposed plans. The amendments were subsequently submitted.

Authorising Officer:



Suzanne Terry

19th June 2025