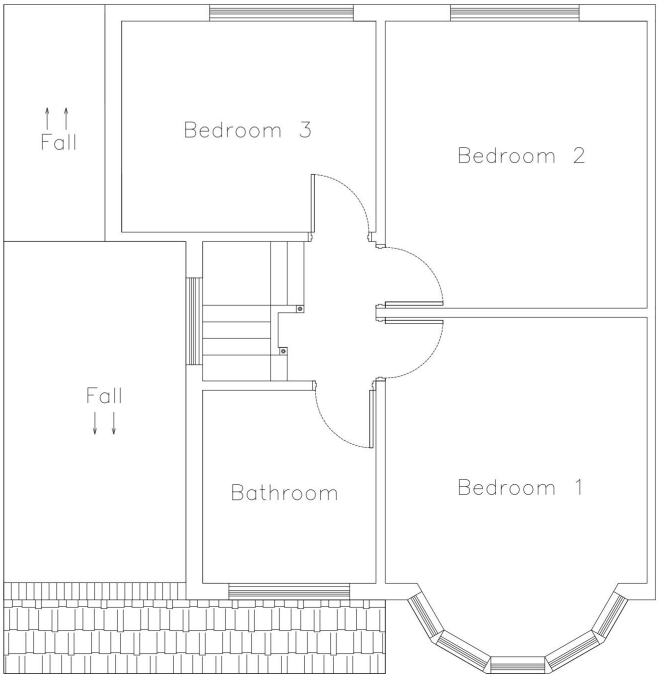
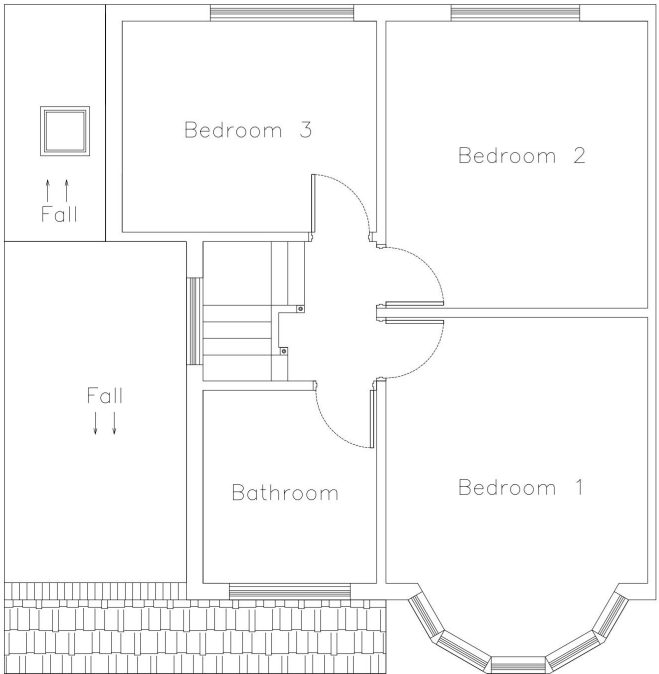




Existing First Floor



Proposed First Floor (no change)



General Notes

Notes

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All dimensions should be checked on site prior to the commencement of any works

The Party Wall etc Act 1996 provides a framework for preventing and resolving disputes in relation to party walls, boundary walls and excavations near neighbouring buildings.

A building owner proposing to start work covered by the Act must give adjoining owners notice of their intentions in the way set down in the Act. Adjoining owners can agree or disagree with what is proposed. Where they disagree, the Act provides a mechanism for resolving disputes.

The Act is separate from obtaining planning permission or building regulations approval.

No.	DWGFF002	2

Firm Name and Address	
Fencourt Architectural Services 07958 238997	

Project Name and Address	
29 Pettits Boulevard Romford RM1 4PL	

Project	A3
Date	
Scale	
10/06/2025	
1:100	



Existing Front Elevation



Proposed Front Elevation



Existing Rear Elevation



Proposed Rear Elevation



General Notes

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No.	DWGFBE002	2
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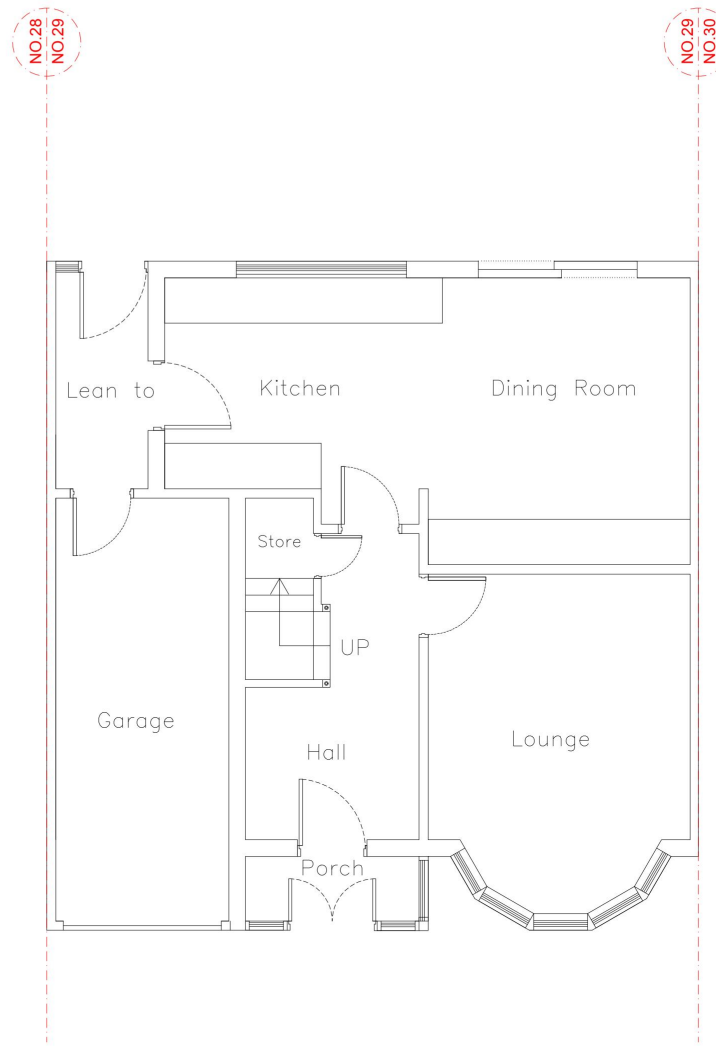
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Fencourt Architectural Services
07958 238997

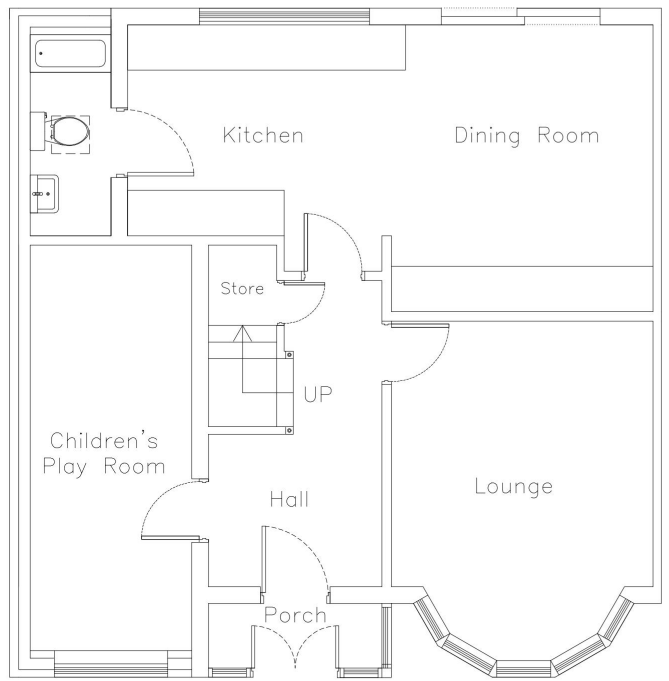
Project Name and Address

29 Pettits Boulevard
Romford
RM1 4PL

Project	Sheet
Date 10/06/2025	A3
Scale 1:100	



Existing Ground Floor



Proposed Ground Floor



General Notes

Notes

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No.	DWGGF002	2

Firm Name and Address

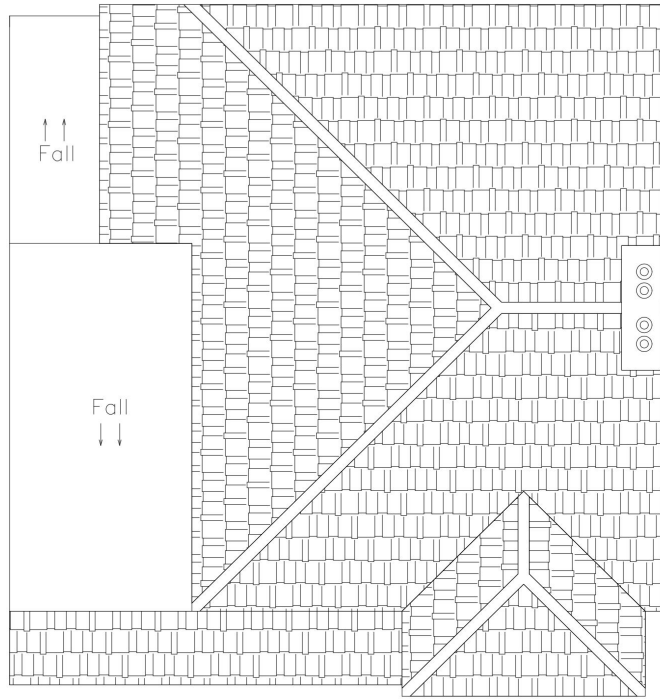
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07958 238997

Project Name and Address

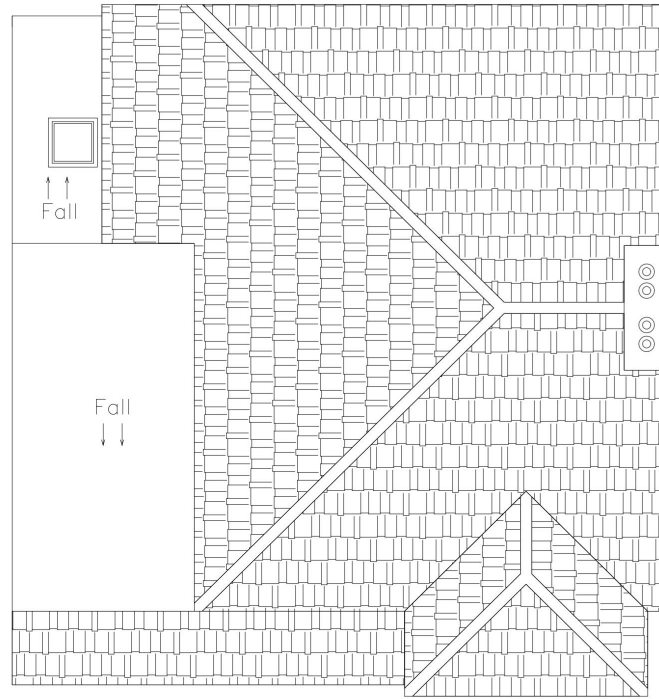
29 Pettits Boulevard
Romford
RM1 4PL

Project	A3
Date	
Scale	

10/06/2025
1:100



Existing Roof Plan



Proposed Roof Plan



General Notes

Notes

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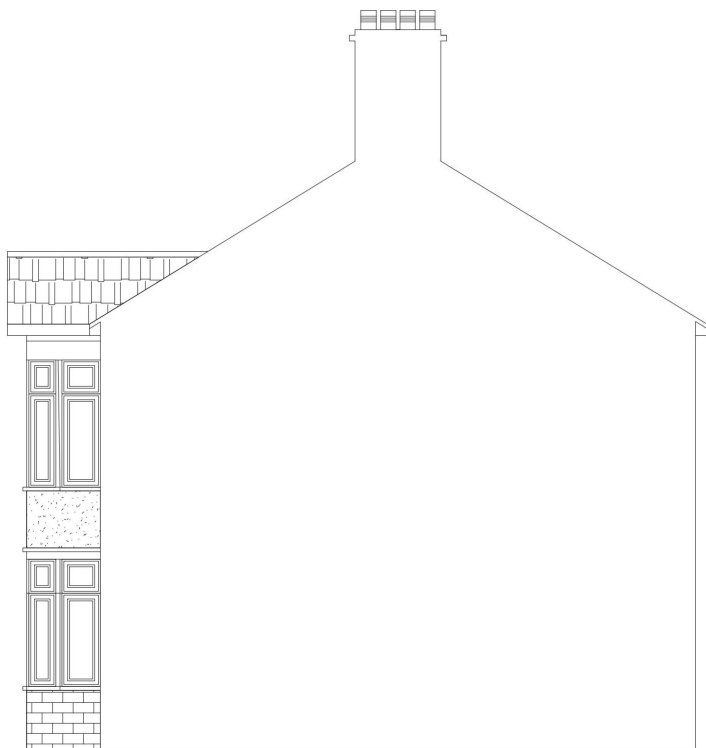
The Act is separate from obtaining planning permission or building regulations approval.

No.	DWGROOF002	2

Firm Name and Address	
Fencourt Architectural Services 07958 238997	

Project Name and Address	
29 Pettits Boulevard Romford RM1 4PL	

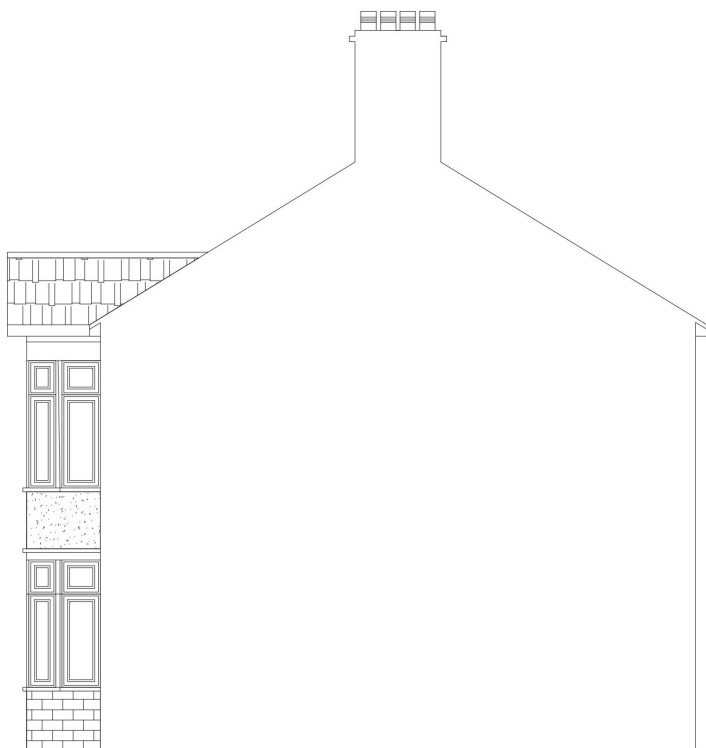
Project	A3
Date 10/06/2025	
Scale 1:100	



Existing Side Elevation of 29 Pettits Boulevard as viewed from 30 Pettits Boulevard



Existing Side Elevation of 29 Pettits Boulevard as viewed from 28 Pettits Boulevard



Proposed Side Elevation of 29 Pettits Boulevard as viewed from 30 Pettits Boulevard (no change)



Proposed Side Elevation of 29 Pettits Boulevard as viewed from 28 Pettits Boulevard (no change)



General Notes

Notes

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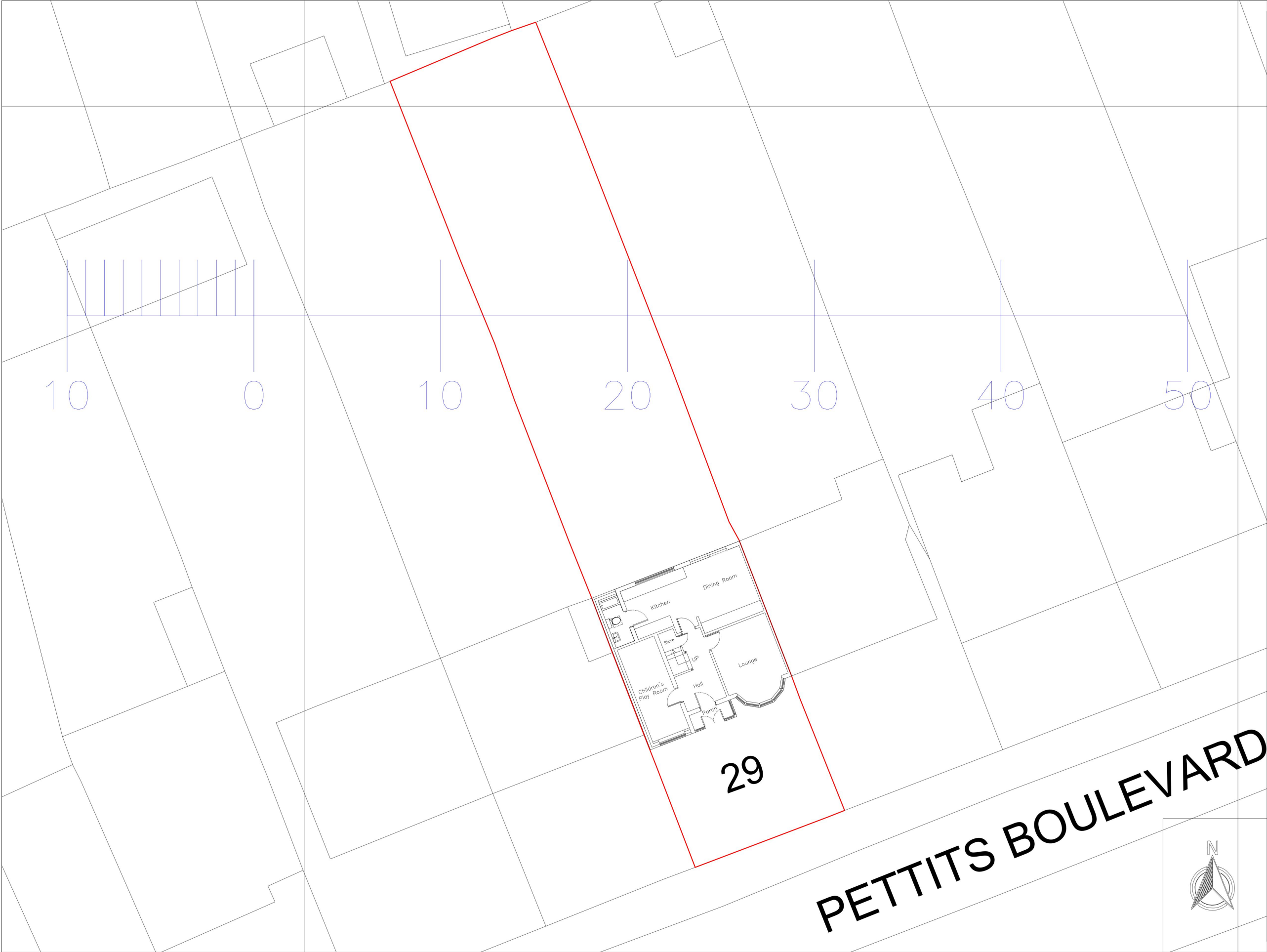
The Act is separate from obtaining planning permission or building regulations approval.

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Firm Name and Address	
Fencourt Architectural Services 07958 238997	

Project Name and Address	
29 Pettits Boulevard Romford RM1 4PL	

Project	A3
Date	
Scale	
10/06/2025	
1:100	



General Notes

Notes

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No.	DWGBP001	1

Firm Name and Address	
Fencourt Architectural Services 07958 238997	

Project Name and Address	
29 Pettits Boulevard Romford RM1 4PL	

Project	Sheet
Date 10/06/2025	A3
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