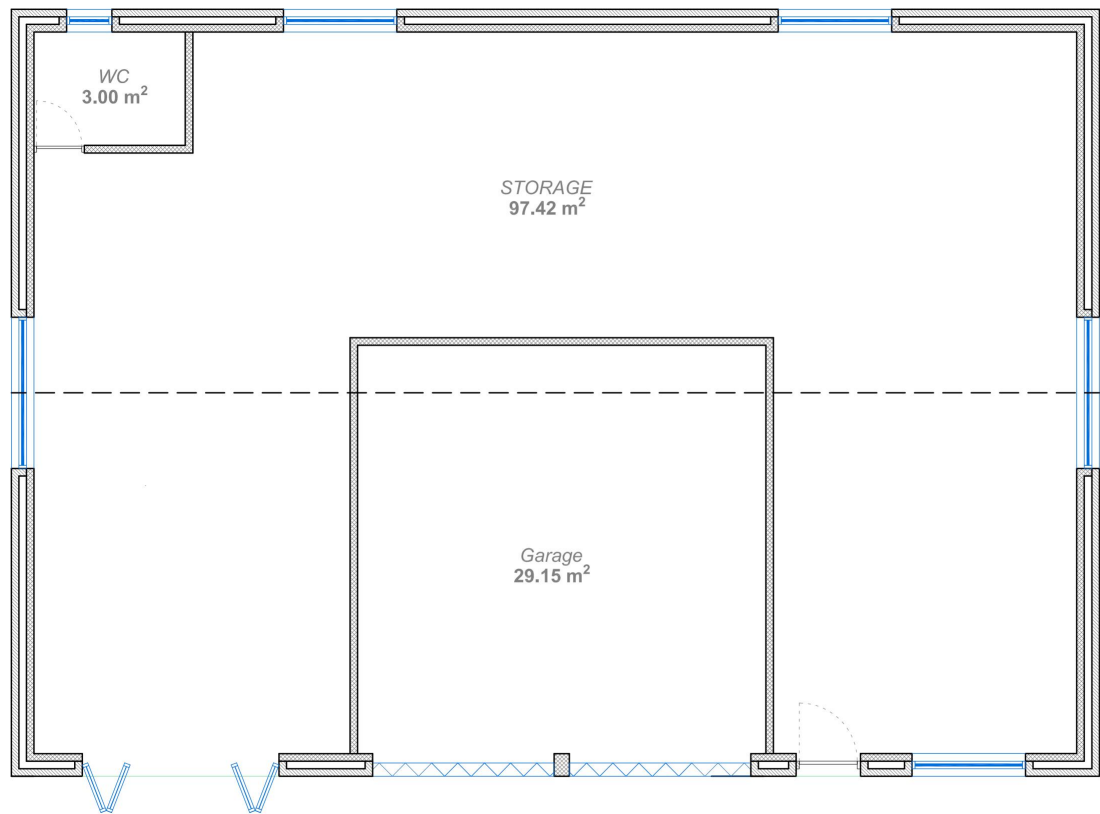
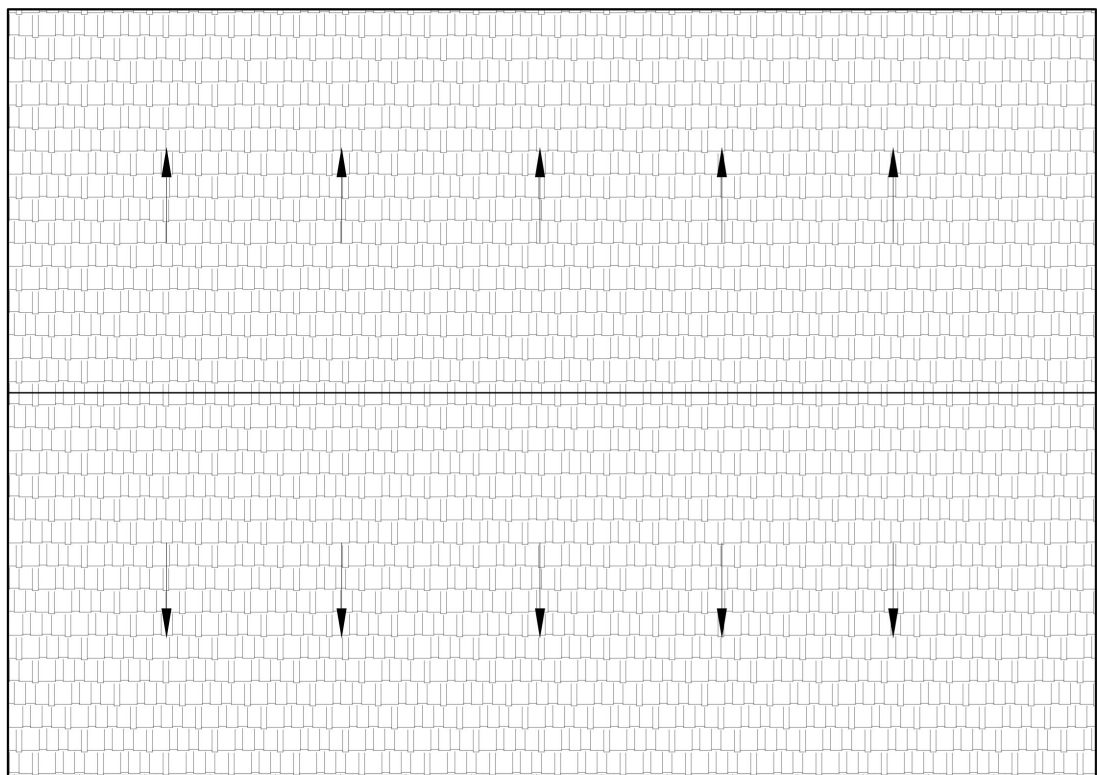
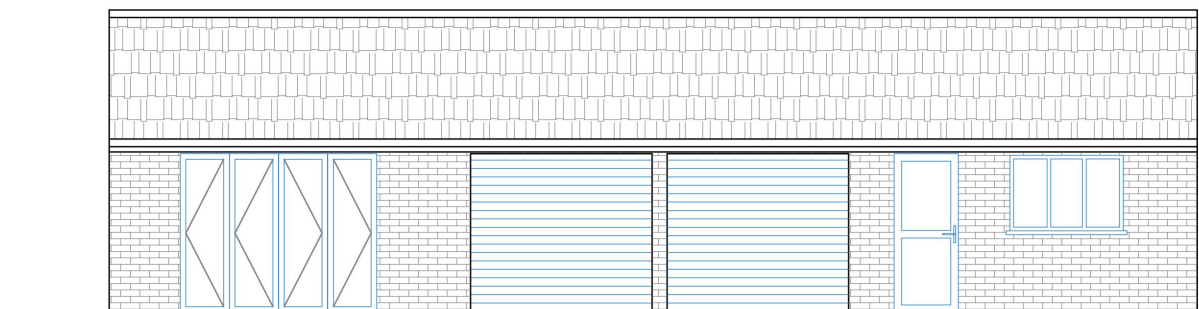




PROPOSED
OUT-BUILDING PLAN



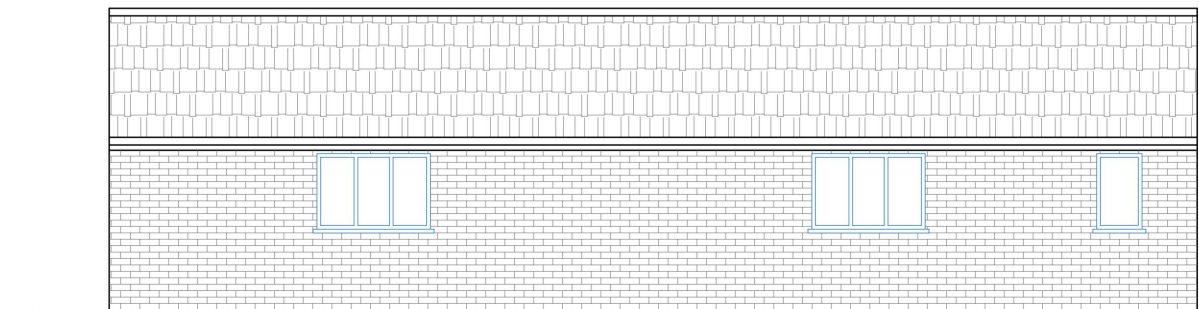
PROPOSED
ROOF PLAN



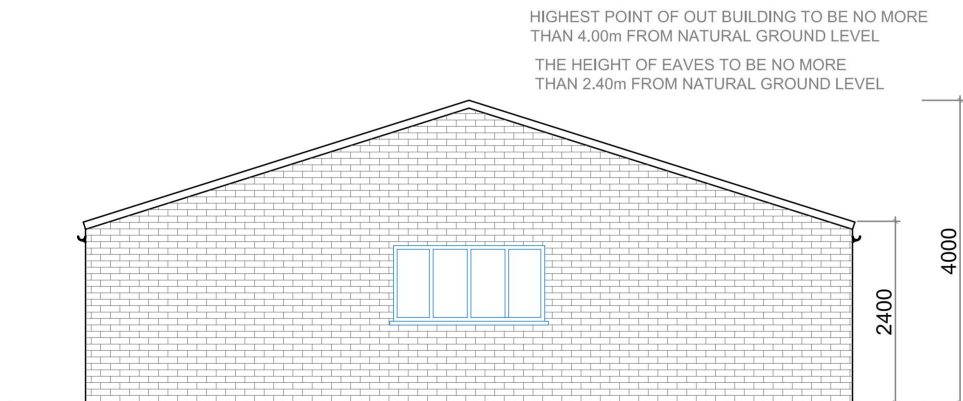
PROPOSED
FRONT ELEVATION



PROPOSED
LEFT SIDE ELEVATION



PROPOSED
REAR ELEVATION



PROPOSED
RIGHT SIDE ELEVATION

PROPOSED MATERIAL
WALLS: BRICKS OR BLOCKS
ROOF: TILES
WINDOWS: UPVC DOUBLE GLAZED WINDOWS
DOORS: UPVC DOUBLE GLAZED DOOR
ALL FINISHES TO MATCH EXISTING DWELLING.

HIGHEST POINT OF OUT BUILDING TO BE NO MORE
THAN 4.00m FROM NATURAL GROUND LEVEL
THE HEIGHT OF EAVES TO BE NO MORE
THAN 2.40m FROM NATURAL GROUND LEVEL

Notes :

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LIABILITY

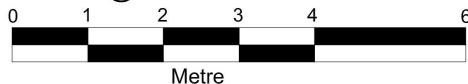
NO LIABILITY IS ACCEPTED TO ANY THIRD PARTY RELYING ON INFORMATION CONTAINED IN THIS DRAWING.

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PARTY WALL

WORKS TO A PARTY WALL STRUCTURE OR WITHIN 3 METERS OF THE LINE OF JUNCTION WILL REQUIRE NOTICES SERVED UPON YOUR NEIGHBOUR(S). WHERE DISPUTES ARISE, A PARTY WALL AWARD MAY NEED TO BE PREPARED PRIOR TO ANY WORKS COMMENCING ON SITE.

Scale 1:100@A3



UK Platinum Homes
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Tel: 07494539958
Email: info@ukplatinumhomes.com

PROJECT:
61 HAVERING ROAD, ROMFORD, RM5 3BP

CLIENT:

DWG TITLE:
PROPOSED OUT-BUILDING PLAN -
ELEVATIONS - ROOF PLAN

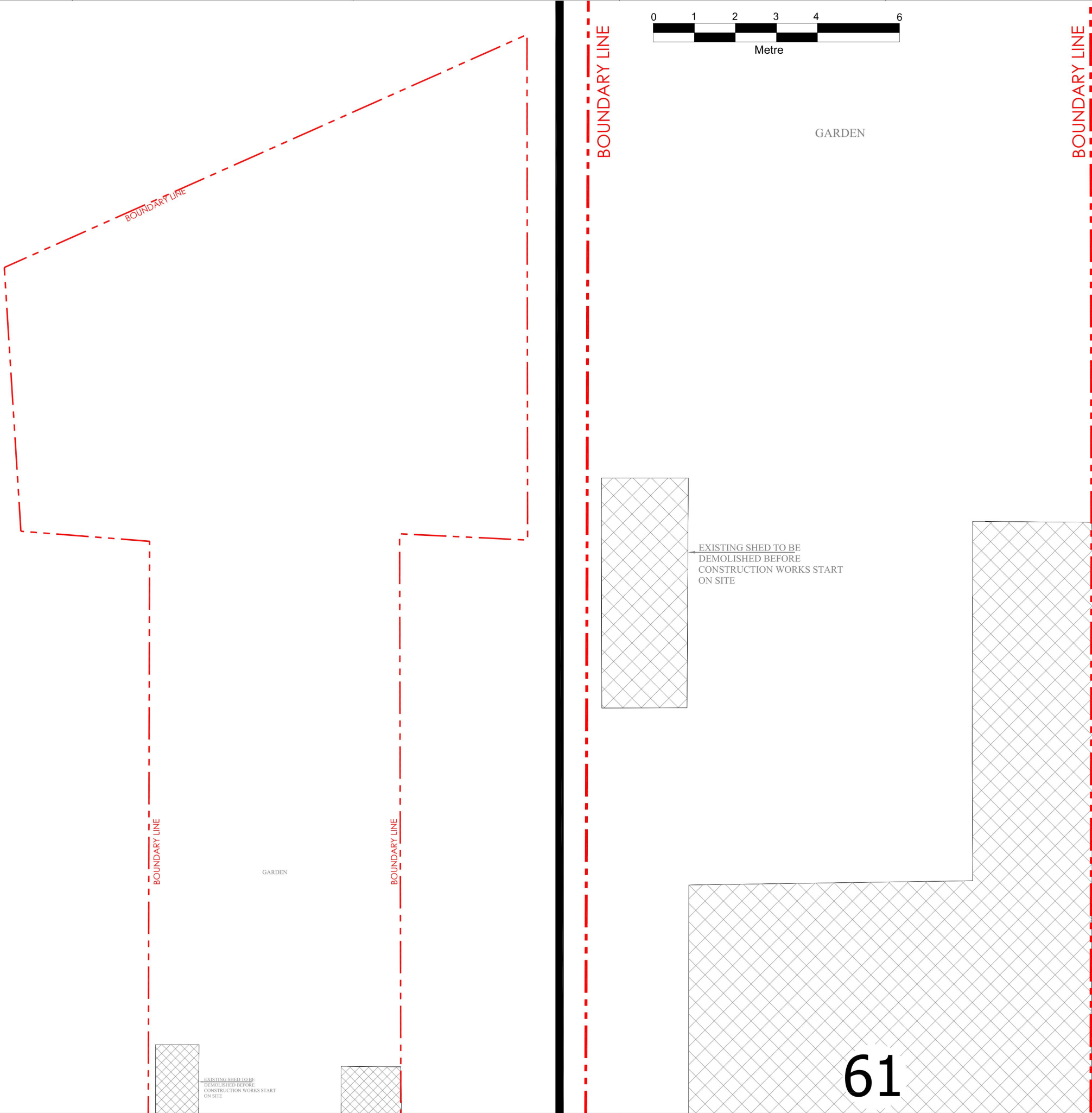
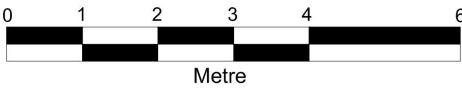
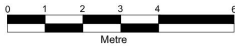
DWG NO: 61HR/03

DRAWN BY: PL

DATE : 12-12-2024

ISSUE:

A



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Scale 1:100, 1:200@A3



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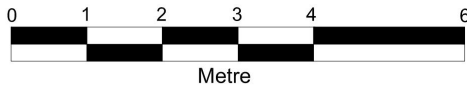
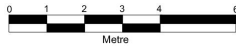
CLIENT:

DWG TITLE:
EXISTING PLAN

DWG NO: 61HR/01
DRAWN BY: PL

DATE : 12-12-2024
DATE : 25-02-2025
DATE : 27-02-2025

ISSUE:
C



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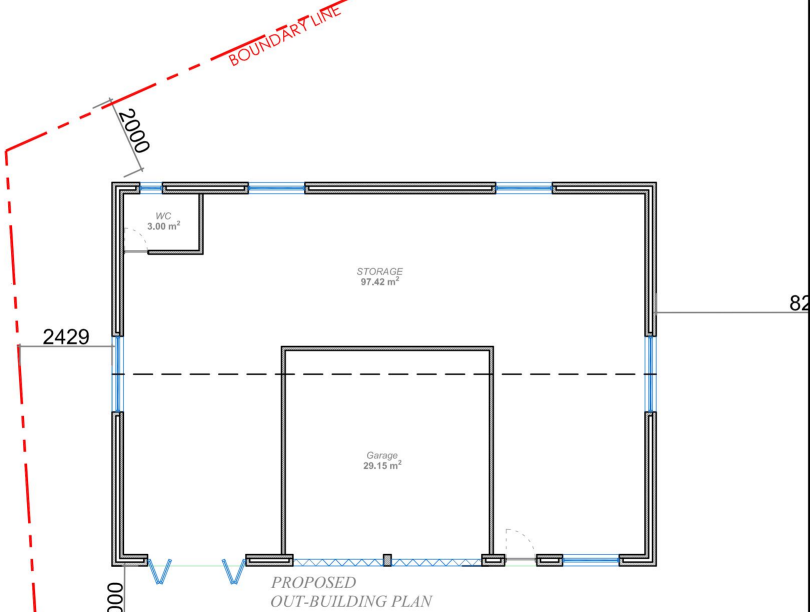
DWG TITLE:
PROPOSED OUT-BUILDING

DWG NO: 61HR/02
DRAWN BY: PL

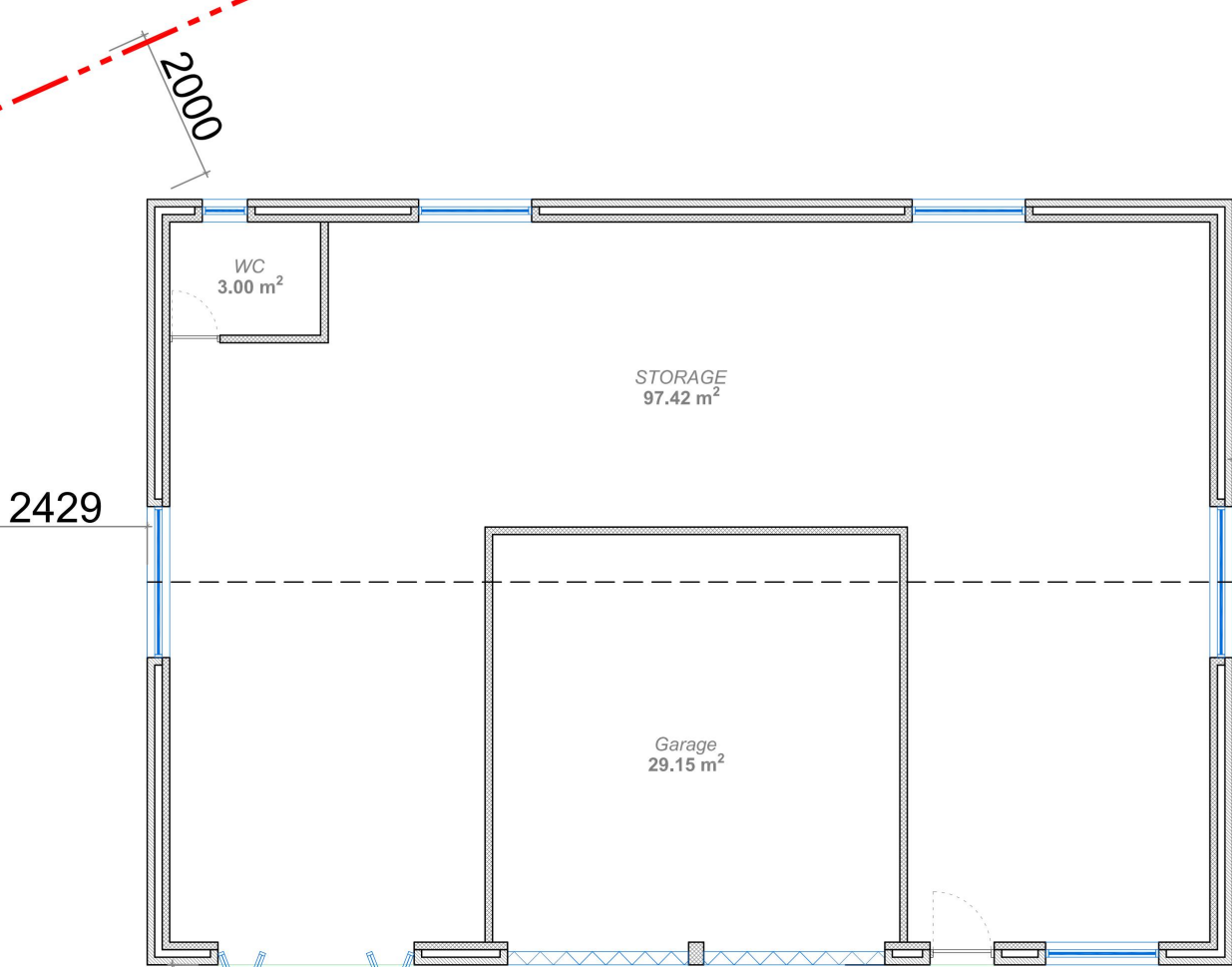
DATE : 12-12-2024
DATE : 25-02-2025
DATE : 27-02-2025

ISSUE:

C

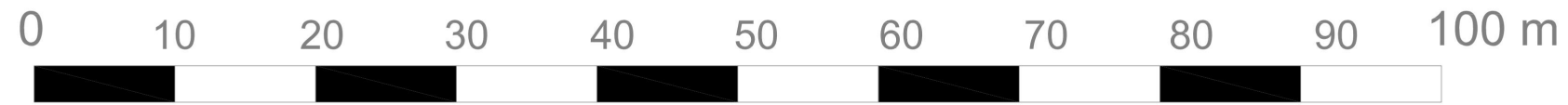
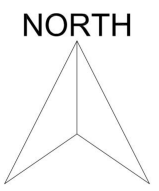


- AREA OF GARDEN = 872m²
- PERMITTED AREA TO BE BUILT ON = 436m²
- NEW OUT-BUILDING = 146m²
- THE TOTAL BUILD UP AREA WOULD BE LESS THAN 50% OF THE TOTAL GARDEN



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GARDEN



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Scale 1:500@A3



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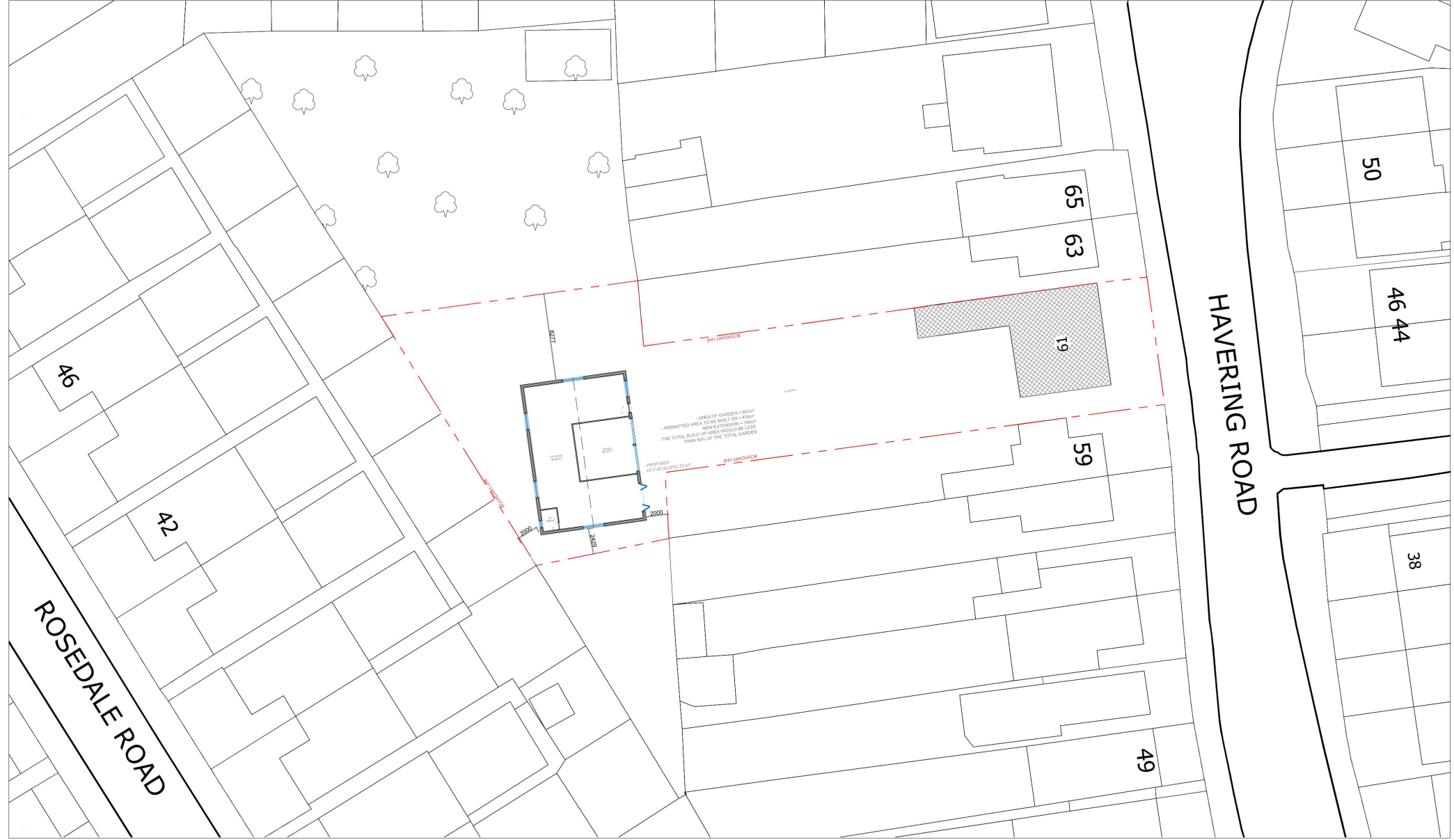
CLIENT:

DWG TITLE:
EXISTING SITE PLAN

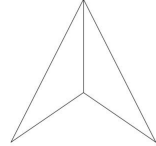
DWG NO: 61HR/04
DRAWN BY: PL

DATE : 12-12-2024
DATE : 25-02-2025
DATE : 27-02-2025

ISSUE:
C



NORTH



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Scale 1:500@A3



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PROJECT:
61 HAVERING ROAD, ROMFORD, RM5 3BP

CLIENT:

DWG TITLE:
PROPOSED SITE PLAN

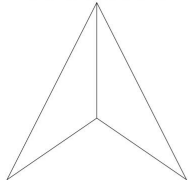
DWG NO: 61HR/05
DRAWN BY: PL

DATE : 12-12-2024
DATE : 25-02-2025
DATE : 27-02-2025

ISSUE:

C

NORTH



SCALE:
1:1250@A4

DWG TITLE:
LOCATION PLAN

DWG NO:
61HR/06

ISSUE:
C

PROJECT:
61 HAVERING ROAD,
ROMFORD, RM5 3BP

