

Notes

0
0.10
General Notes
Side-Facing Windows
Side-facing windows must be obscure-glazed; and, if opening, to be 1.7 metres above the floor of the room in which they are installed.

1
1.1
Materials
New Pitched Roof
New roof tiles to be similar appearance to those used in the construction of the existing build

1.8
New External Door
New external doors to be similar appearance to those used in the construction of the existing build

1.9
Dormer Vertical Hung Tiles
Dormer vertical hung tiles to be similar appearance to those used in the construction of the dwelling house roof

1.11
GRP Flat Roof
GRP flat roofs catalysed resin weatherproofing

1.19
Raised Flank Wall
Raised flank in matching materials as house existing external walls

1.24
New Windows
New external windows to be similar appearance to those used in the construction of the existing build

10
Part K Glazing/ Handrails

Build Regs
10.7
Balustrade
Provide balustrades to balcony min 1100mm in height and capable of resisting at least the horizontal force given in BS 6180. No openings in any balustrading should allow the passage of a 100mm sphere and children should not readily be able to climb the guarding.



E-01 Extg Rear Elev 1:100



E-02 Extg Side Elev 1:100



E-01 Props Rear Elev 1:100



E-02 Props Side Elev 1:100



Site Address	62 Upminster Road Hornchurch RM12 6PJ
Applicant	David and Nikki Rowlandson
Application	Full Plans
Project Description	Hip to gable loft conversion with roof light to front roof slope
Drawing Description	Extg and Props Rear and Side Elev

Drawing Status	Building Control	Drawn by	BB	Checked	AK
Issue Date	May 2024	Drawing No.	PL.1	Revision	B
				Scale@A3	1:100

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Notes

1 Materials
1.7 Roof Light

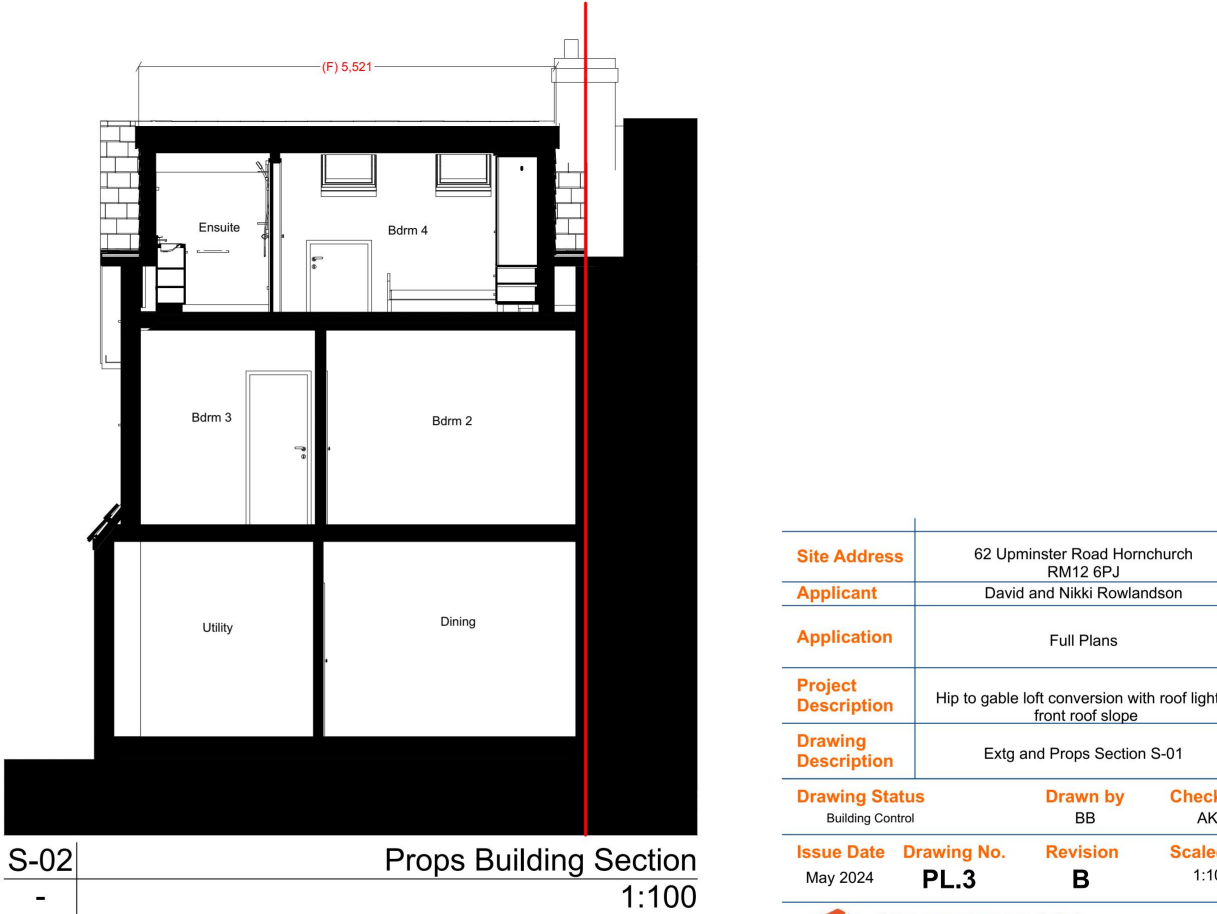
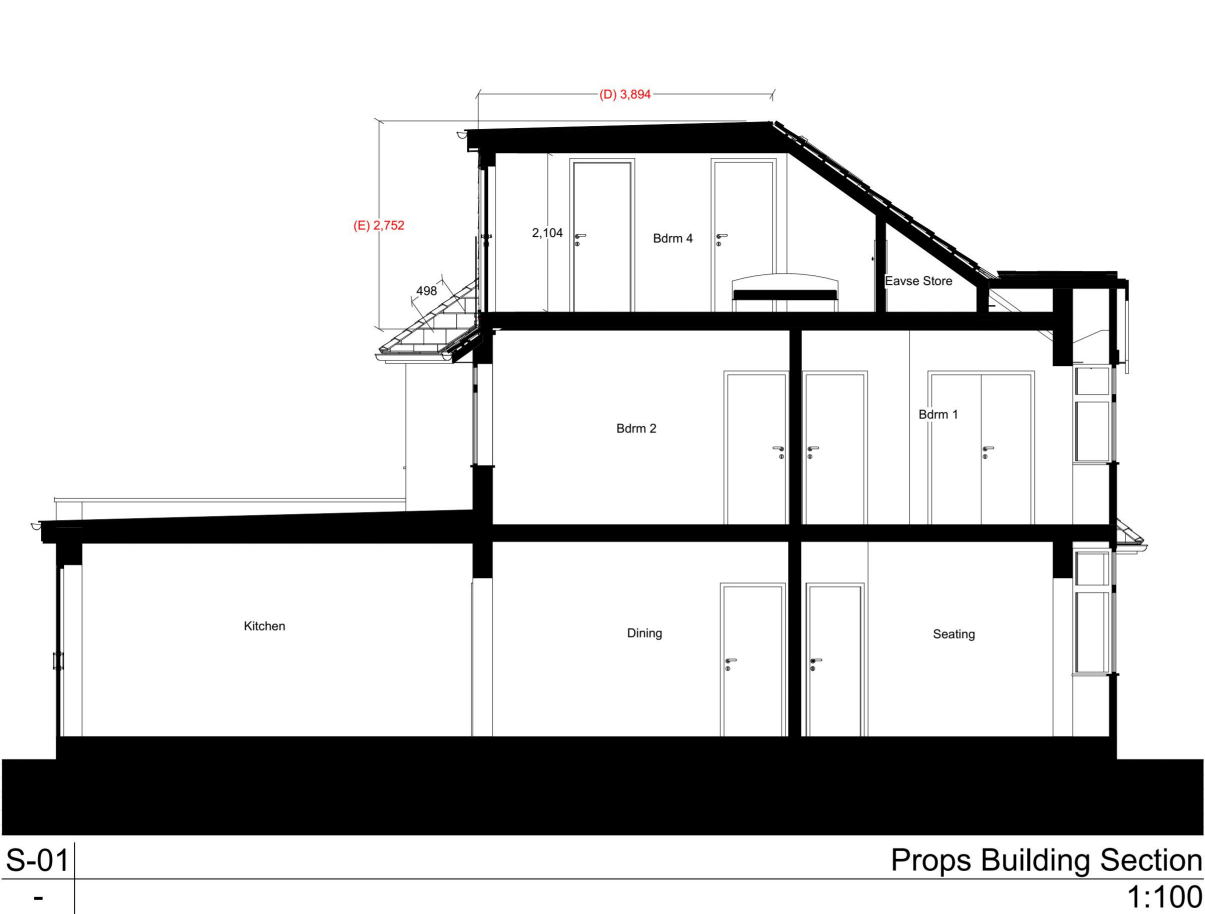
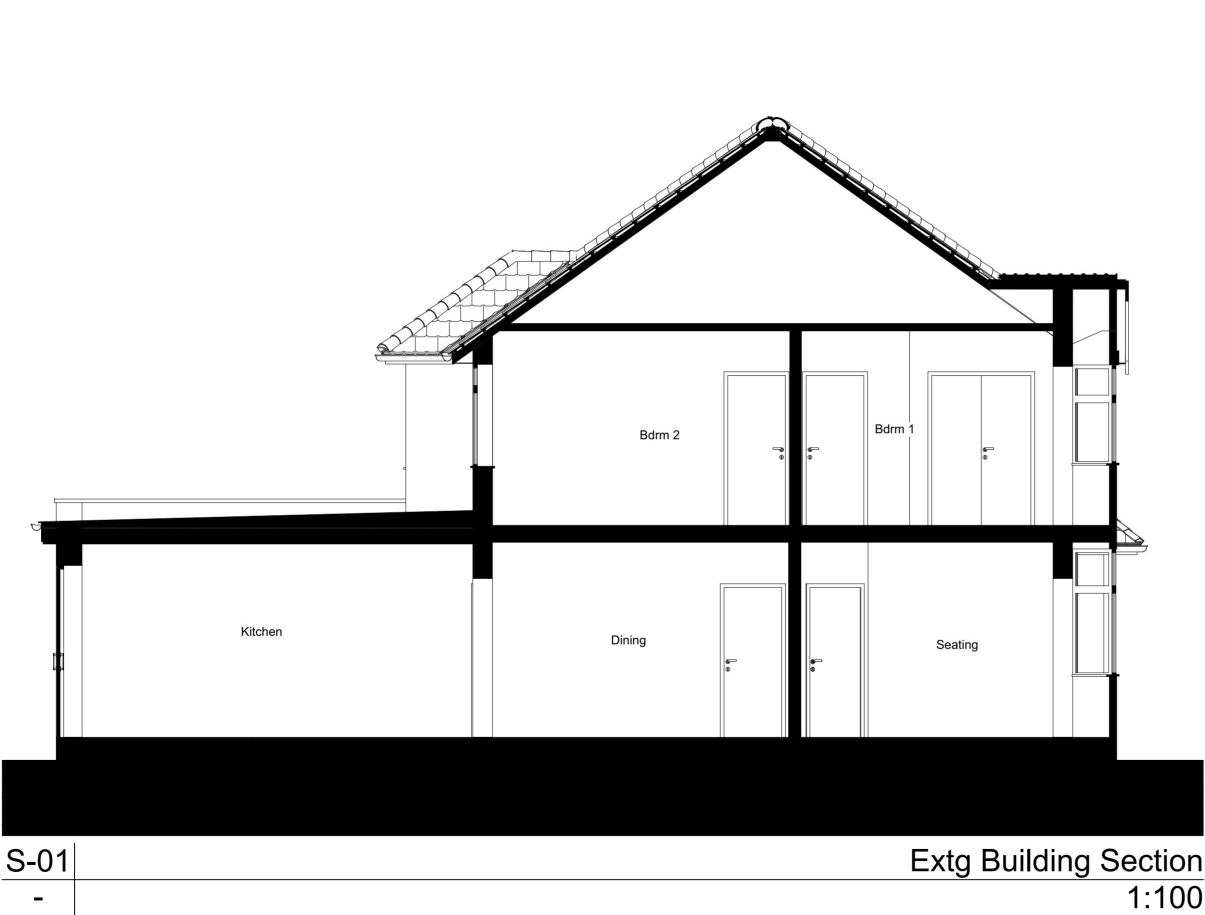
New Roof-lights not to project more than 150mm from roof surface



Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Extg and Props Adj and Front Elev		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	May 2024	Drawing No. PL.2	Revision B
			Scale@A3 1:100

HOMEFRONT ARCHITECTURE
5a Burgess Rd London E15 2AD
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Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Extg and Props Section S-01		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	Drawing No.	Revision	Scale@A3
May 2024	PL.3	B	1:100

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Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Extg GND FLR		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	Drawing No.	Revision	Scale@A3
May 2024	PL.4	B	1:100



Extg 1ST FLR
1:100

Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Extg 1st Fr		
Drawing Status Building Control	Drawn by BB	Checked AK	
Issue Date May 2024	Drawing No. PL.6	Revision B	Scale@A3 1:100

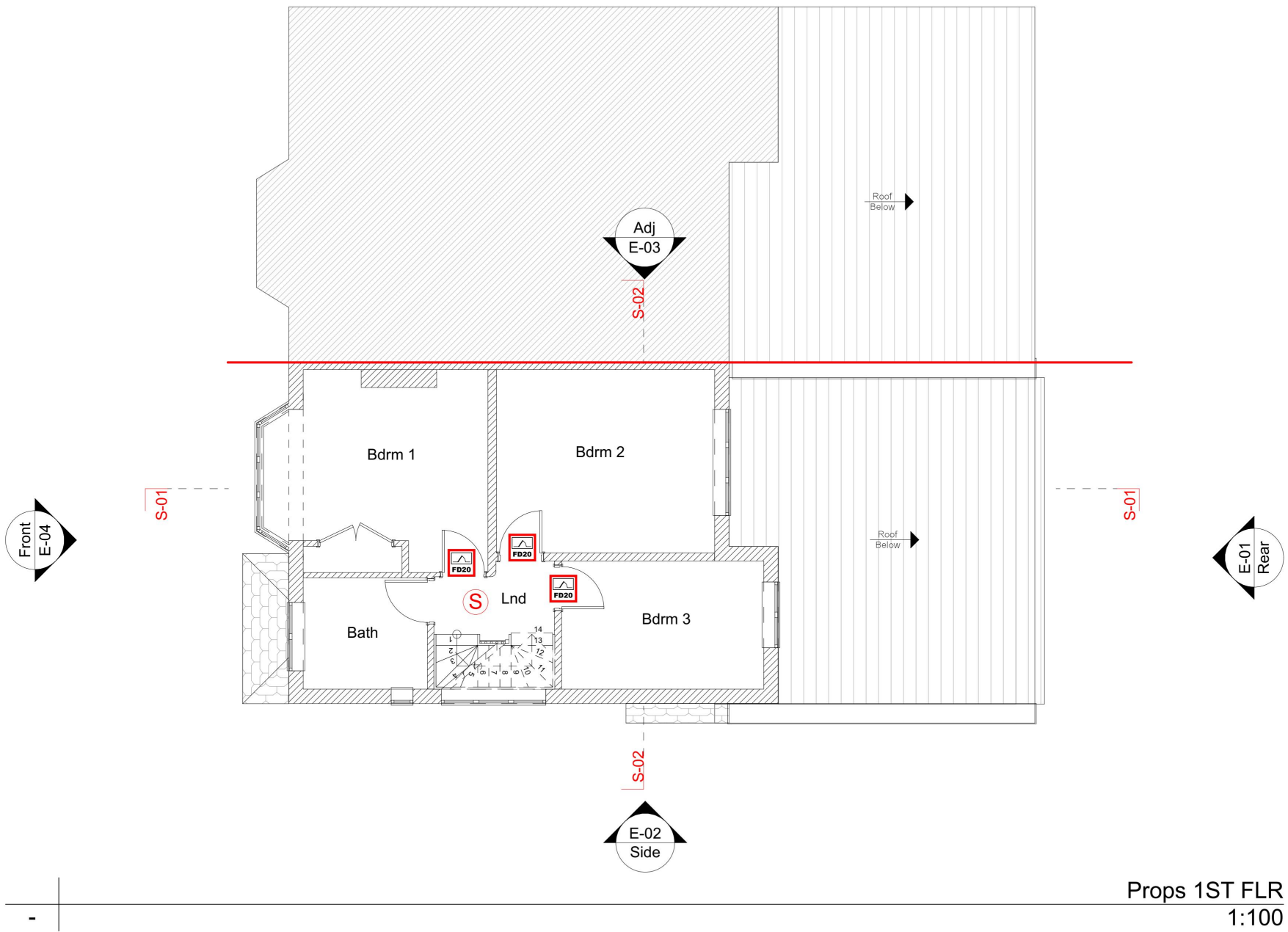
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Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Props 1st Flr		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	May 2024	Drawing No. PL.7	Revision B
			Scale@A3 1:100

Notes

12 Build Specification

- 12.1

Loft Floor
View build construction specification for futher details
- D-01

12.4

Dormer Wall/Cheek Construction
View build construction specification for futher details
- D-04

12.5

Raised Flank Wall
View build construction specification for futher details
- D-05

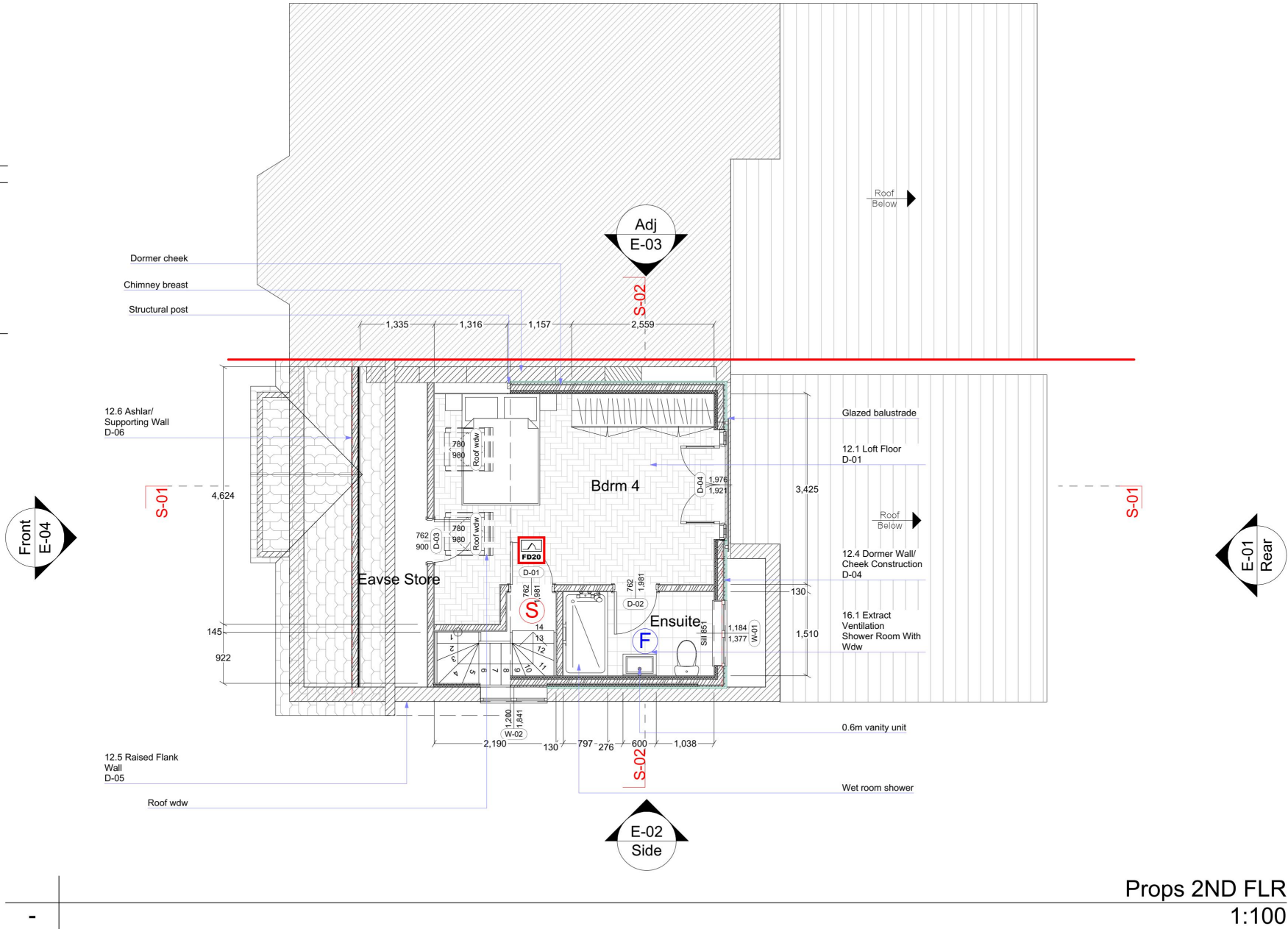
12.6

Ashlar/Supporting Wall
View build construction specification for futher details
- D-06

16 Part F Ventilation

- 16.1

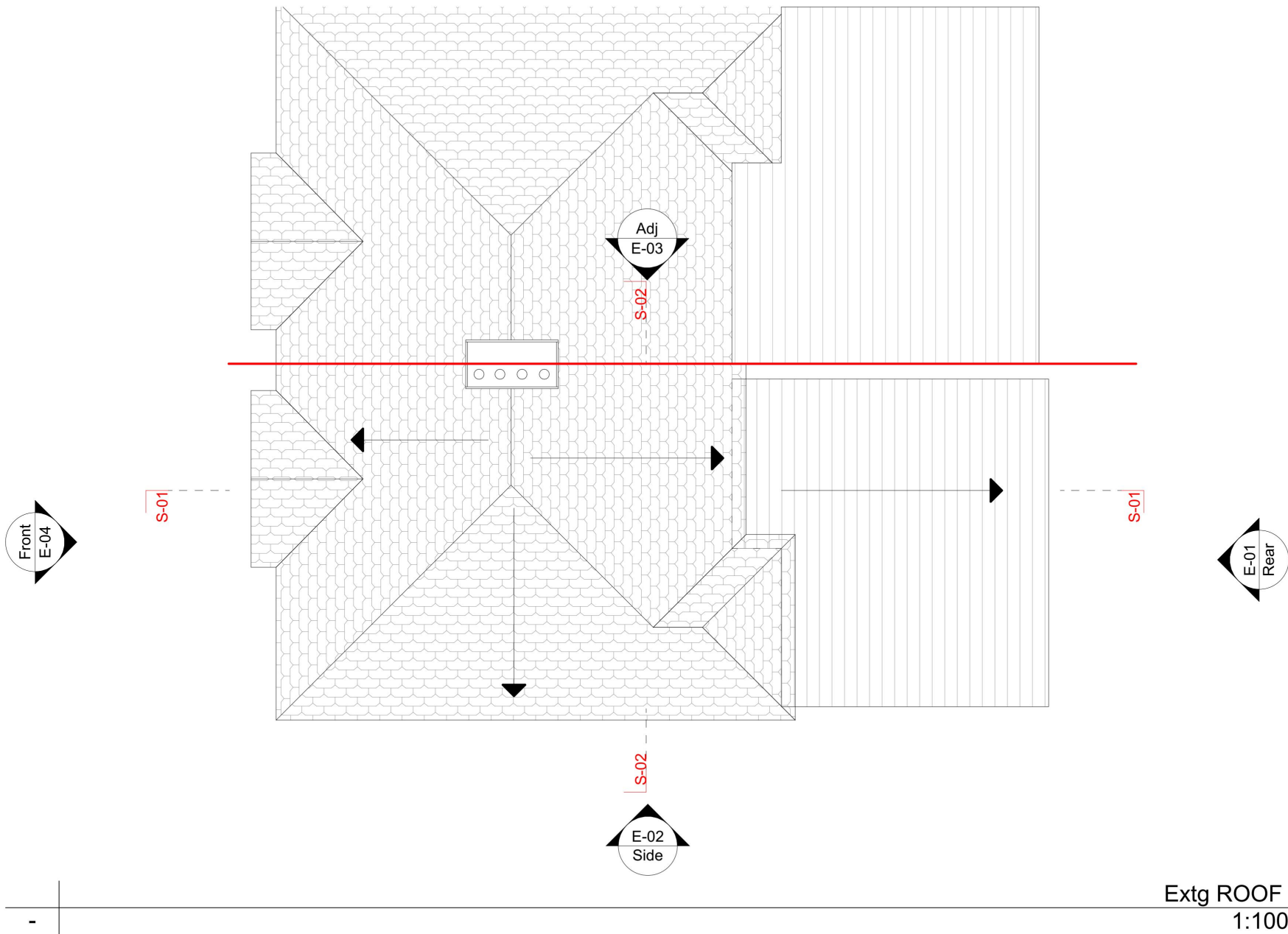
Extract Ventilation
Provide mechanical extract ventilation to shower room ducted to external air capable of extracting at a rate of not less than 15 litres per second
- Shower Room With Wdw



Site Address	62 Upminster Road Hornchurch RM12 6PJ		
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Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Props 2nd Flr		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	May 2024	Drawing No. PL.8	Revision B
			Scale@A3 1:100

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Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Extg ROOF		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	Drawing No.	Revision	Scale@A3
May 2024	PL.9	B	1:100

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Notes

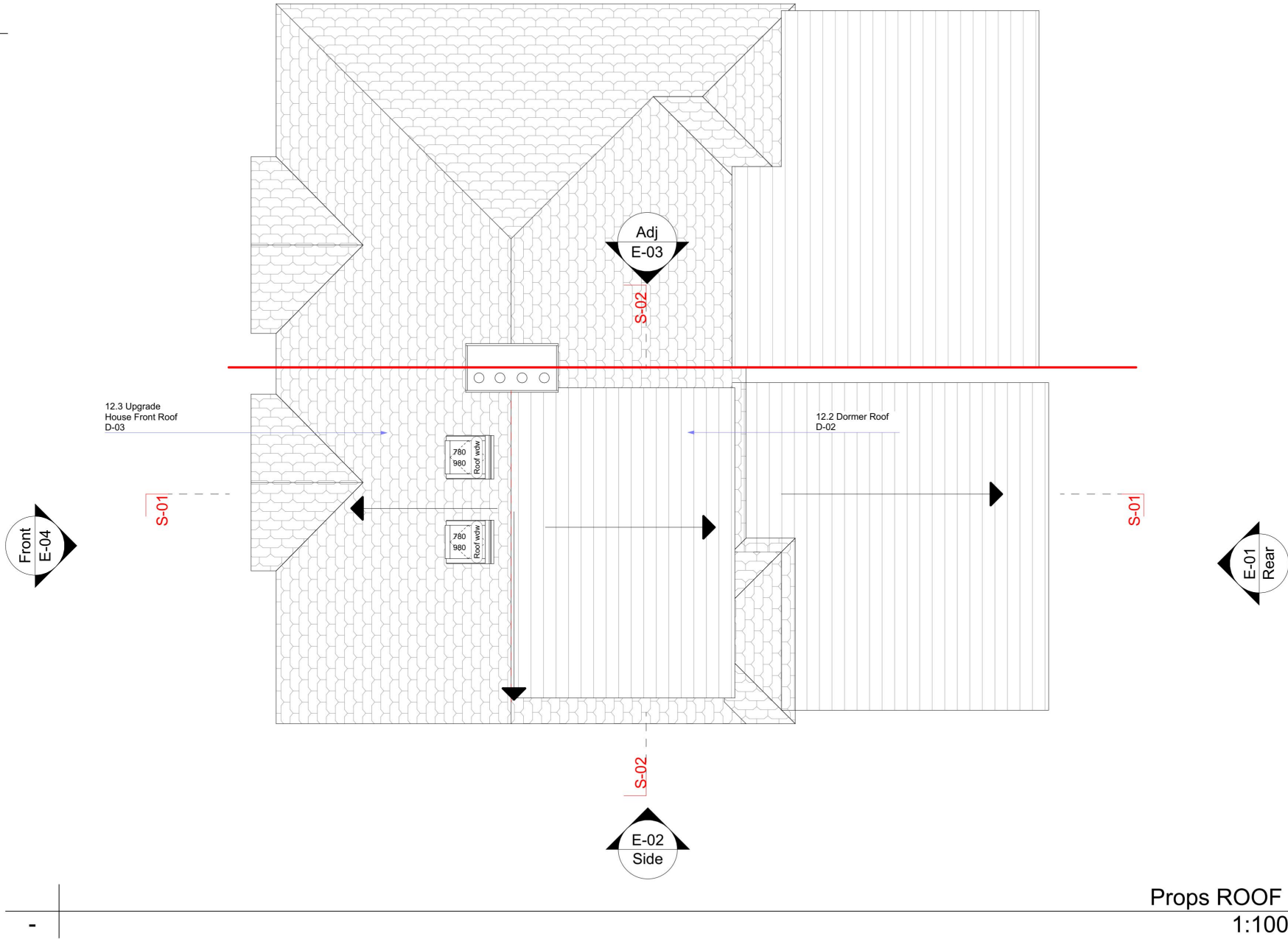
- 12

Build Specification
- 12.2

Dormer Roof
View build construction specification
for futher details
- D-02

12.3

Upgrade House Front Roof
View build construction specification
for futher details
- D-03



Props ROOF
1:100



Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Props ROOF		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	May 2024	Drawing No. PL.10	Revision B
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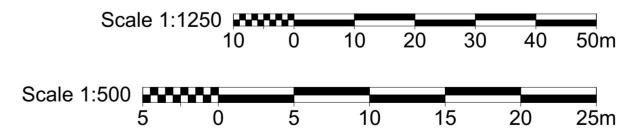


Site Map
1:1250



Extg Block Plan
1:500

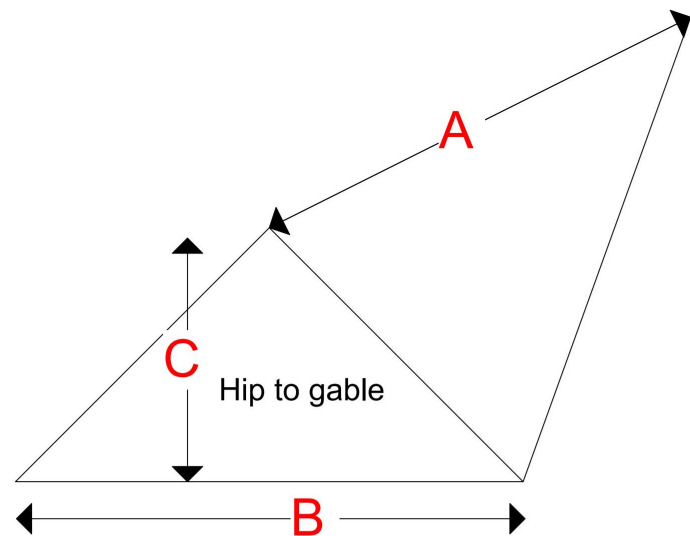
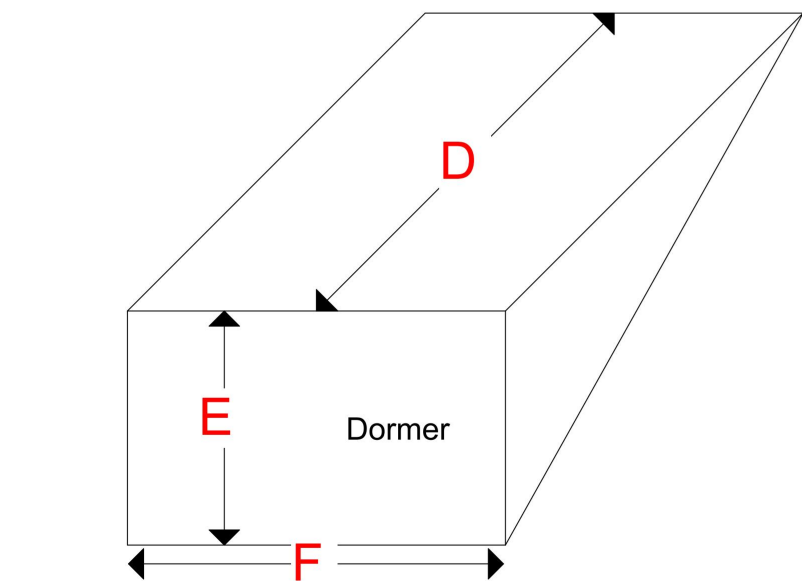
Props Block Plan
1:500



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Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Site Map		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	May 2024	Drawing No. PL.12	Revision B
			Scale@A3 1:1250, 1:500

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All dimension taken from plan, dimensions have been rounded to the nearest figure.

Hip to gable volume calculation

4.20m (A) width from the hip to gable
÷3 ×
9.5m (B) length from front eaves to rear eaves
×
3.07m (C) height from the eaves to the ridge
÷2

=20.41m3

Dormer project volume calculation

3.89m (D) width of dormer from house ridge to dormer wall
×
2.75m (E) height of dormer from eaves to highest point
×
5.52m (F) length of dormer from cheek to cheek
÷2

= 29.52m3

Conclusion: Hip to gable 20.41m3 + dormer project 29.52m3 = 49.93m3

Permitted allowance for this type of property 50m3

Site Address	62 Upminster Road Hornchurch RM12 6PJ		
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Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Evidence to Verify Application		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	May 2024	Drawing No. PL.13	Revision B
		Scale@A3	