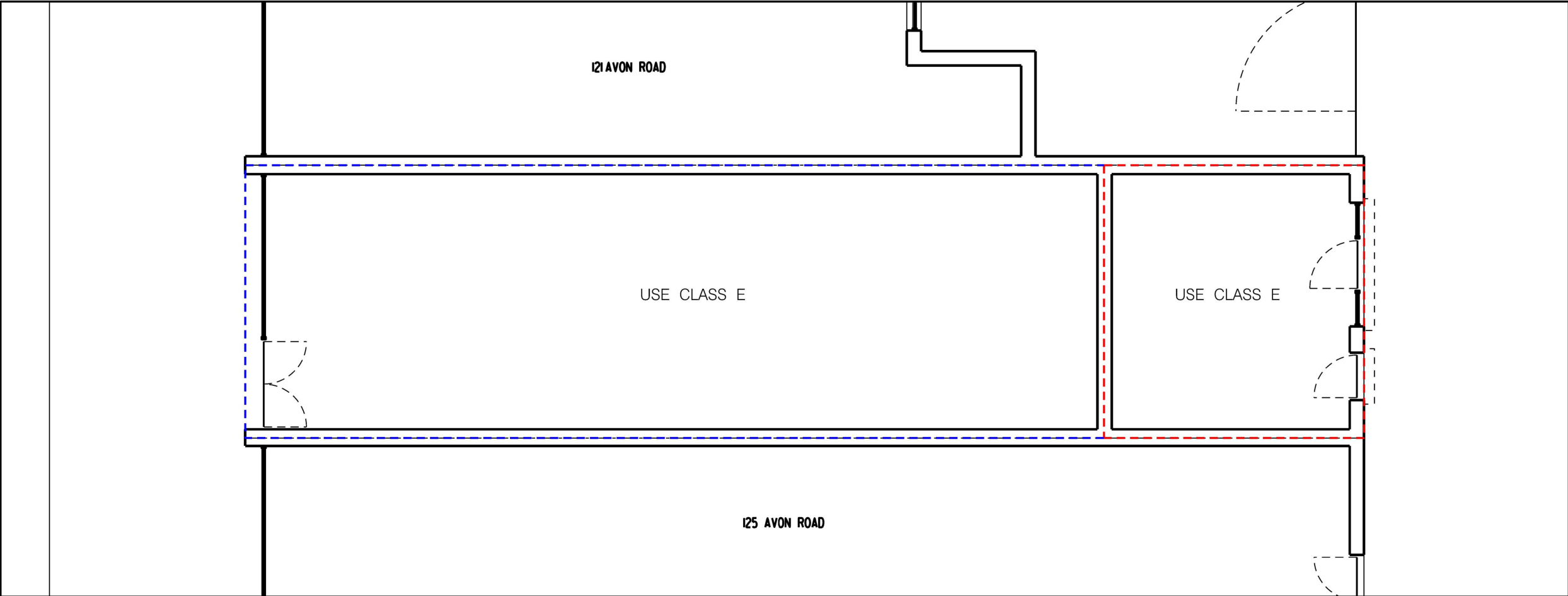




01 PRE-EXISTING GROUND FLOOR PLAN



02 PRE-EXISTING FRONT ELEVATION



03 PRE-EXISTING REAR ELEVATION

rev	date	amendments
P01	02.05.23	ISSUED FOR PLANNING
P02	03.07.23	ISSUED FOR PLANNING
P03	18.06.24	ISSUED FOR PLANNING

note

1. Do not scale from this drawing except for the purpose of planning.
2. All dimensions to be checked on site by the contractor and such dimensions to be his responsibility.
3. Report drawing errors, omissions and discrepancies to the architect.
4. This document may be issued in an uncontrolled CAD format to enable others to use it as background information to make alterations and/or additions. In that instance this file will be accompanied with a PDF version. It is for those making such alterations and additions to ensure they make use of current background information. Lusher architects accepts no liability for any such alterations or additions to this background information or arising out of changes to background information which occur prior to alterations or additions being made.



LUSHER architects
21 THOMAS MORE HOUSE, BARBICAN, LONDON, EC2Y 8BT
TEL 07974 956199 - james@lusherarchitects.co.uk

Job title 123 AVON ROAD
drawing title PRE-EXISTING PLAN & ELEVATIONS

project	drawing number	scale	status	revision
2324-004	010	1:100@A3	PLANNING	P03



key

PROPOSED CHANGE OF USE

rev	date	amendments
P01	02.05.23	ISSUED FOR PLANNING
P02	18.06.24	ISSUED FOR PLANNING

note

1. Do not scale from this drawing except for the purpose of planning.

2. All dimensions to be checked on site by the contractor and such dimensions to be his responsibility.

3. Report drawing errors, omissions and discrepancies to the architect.

4. This document may be issued in an uncontrolled CAD format to enable others to use it as background information to make alterations and/or additions. In that instance this file will be accompanied with a PDF version. It is for those making such alterations and additions to ensure they make use of current background information. LUSHER architects accepts no liability for any such alterations or additions to this background information or arising out of changes to background information which occur prior to alterations or additions being made.

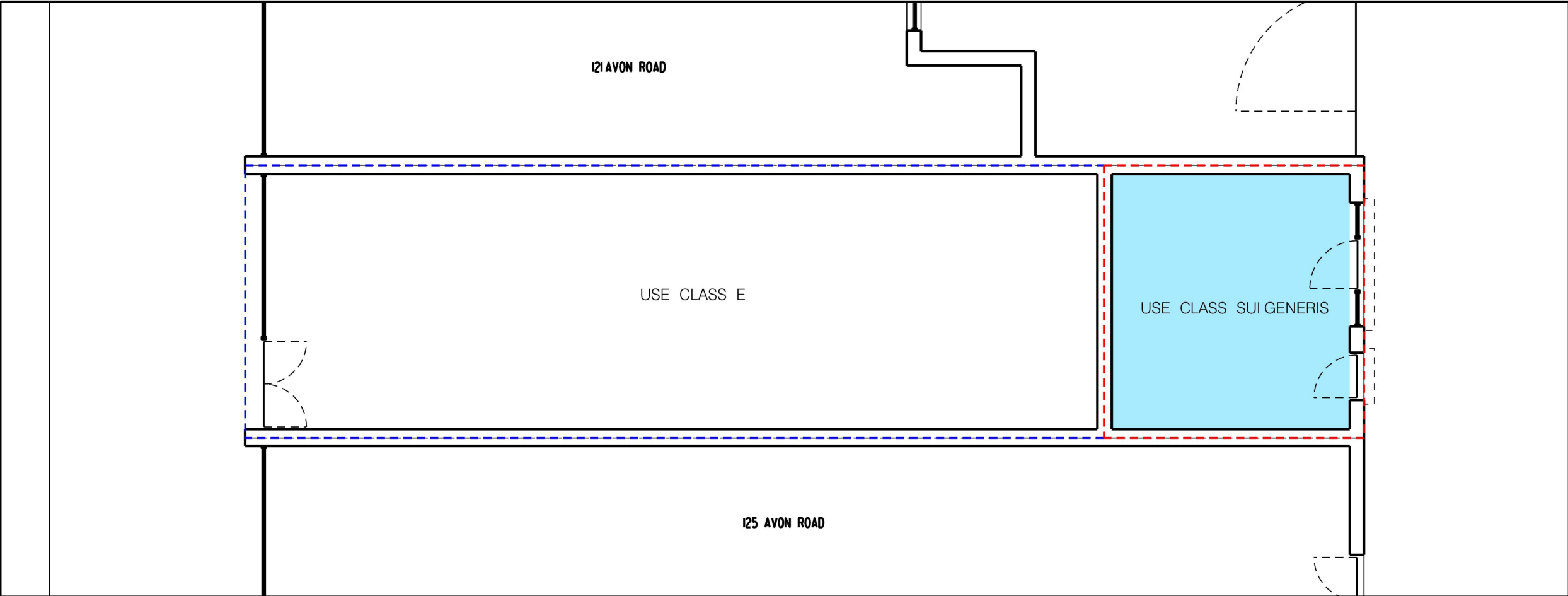


LUSHER architects
21 THOMAS MORE HOUSE, BARBICAN, LONDON, EC2Y 8BT
TEL 07974 956199 - james@lusherarchitects.co.uk

Job title
123 AVON ROAD

Drawing title
EXISTING BLOCK PLAN

project	dwg number	scale	status	revision
2324-004	102	1:500@A3	PLANNING	P02



01 EXISTING GROUND FLOOR PLAN

key

PROPOSED CHANGE OF
USE FROM CLASS E TO
CLASS SUI GENERIS

rev	date	amendments
P01	02.05.23	ISSUED FOR PLANNING
P02	03.07.23	ISSUED FOR PLANNING
P03	18.06.24	ISSUED FOR PLANNING

note

1. Do not scale from this drawing except for the purpose of planning.
2. All dimensions to be checked on site by the contractor and such dimensions to be his responsibility.
3. Report drawing errors, omissions and discrepancies to the architect.
4. This document may be issued in an uncontrolled CAD format to enable others to use it as background information to make alterations and/or additions. In that instance this file will be accompanied with a PDF version. It is for those making such alterations and additions to ensure they make use of current background information. LUSHER architects accepts no liability for any such alterations or additions to this background information or arising out of changes to background information which occur prior to alterations or additions being made.

N

0

2

4

metres

LUSHER architects

21 THOMAS MORE HOUSE, BARBICAN, LONDON, EC2Y 8BT
TEL 07974 956199 - james@lusherarchitects.co.uk

job title

123 AVON ROAD

drawing title

EXISTING PLAN & ELEVATIONS

project	drawing number	scale	status	revision
2324-004	110	1:100@A3	PLANNING	P03



02 EXISTING FRONT ELEVATION



03 EXISTING REAR ELEVATION