

Notes

0
0.10
General Notes
Side-Facing Windows
Side-facing windows must be obscure-glazed; and, if opening, to be 1.7 metres above the floor of the room in which they are installed.

1
1.1
Materials
New Pitched Roof
New roof tiles to be similar appearance to those used in the construction of the existing build

1.8
New External Door
New external doors to be similar appearance to those used in the construction of the existing build

1.9
Dormer Vertical Hung Tiles
Dormer vertical hung tiles to be similar appearance to those used in the construction of the dwelling house roof

1.11
GRP Flat Roof
GRP flat roofs catalysed resin weatherproofing

1.19
Raised Flank Wall
Raised flank in matching materials as house existing external walls

1.24
New Windows
New external windows to be similar appearance to those used in the construction of the existing build

10
Part K Glazing/ Handrails

Build Regs
10.7
Balustrade
Provide balustrades to balcony min 1100mm in height and capable of resisting at least the horizontal force given in BS 6180. No openings in any balustrading should allow the passage of a 100mm sphere and children should not readily be able to climb the guarding.



E-01 Extg Rear Elev 1:100



E-02 Extg Side Elev 1:100



E-01 Props Rear Elev 1:100



E-02 Props Side Elev 1:100



Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Extg and Props Rear and Side Elev		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	May 2024	Drawing No. PL.1	Revision A
			Scale@A3 1:100

HOMEFRONT ARCHITECTURE
5a Burgess Rd London
E15 2AD
Tel: 020 8281 2889
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Any discrepancies to be brought to the attention of Homefront, prior to construction.

The material used in any exterior works is to be of a similar appearance to those used in the construction of the existing dwelling house

Notes

1 Materials
1.7 Roof Light

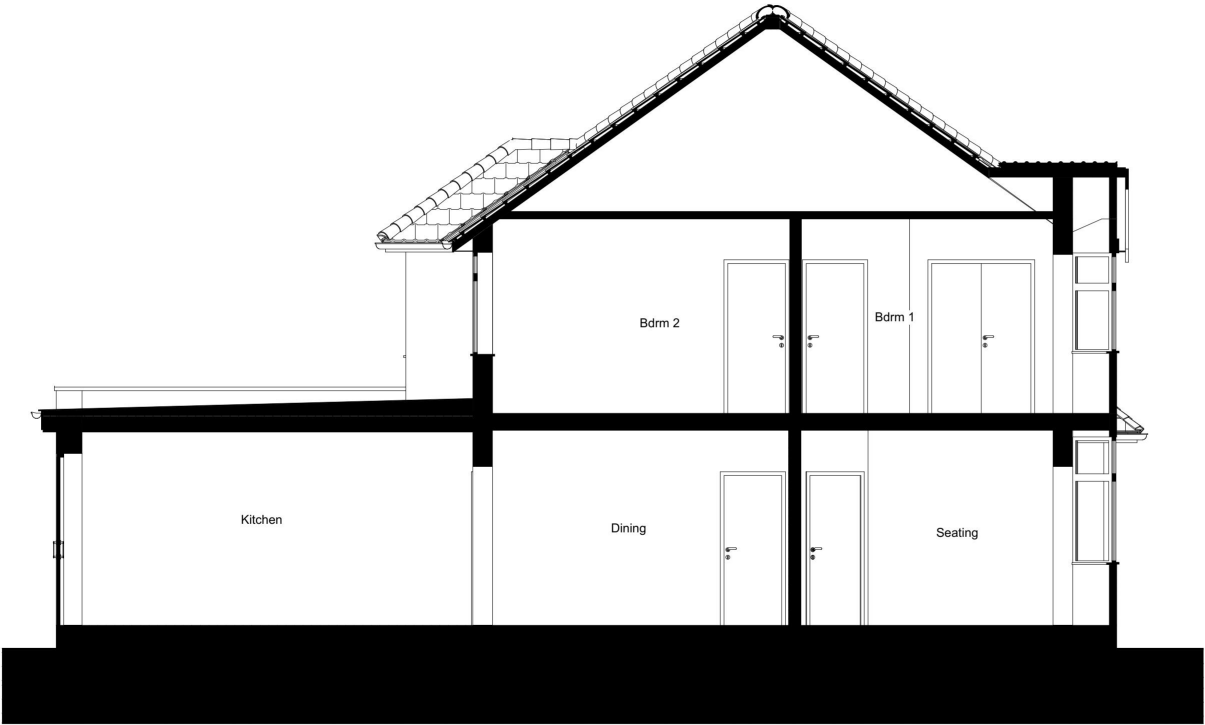
New Roof-lights not to project more than 150mm from roof surface



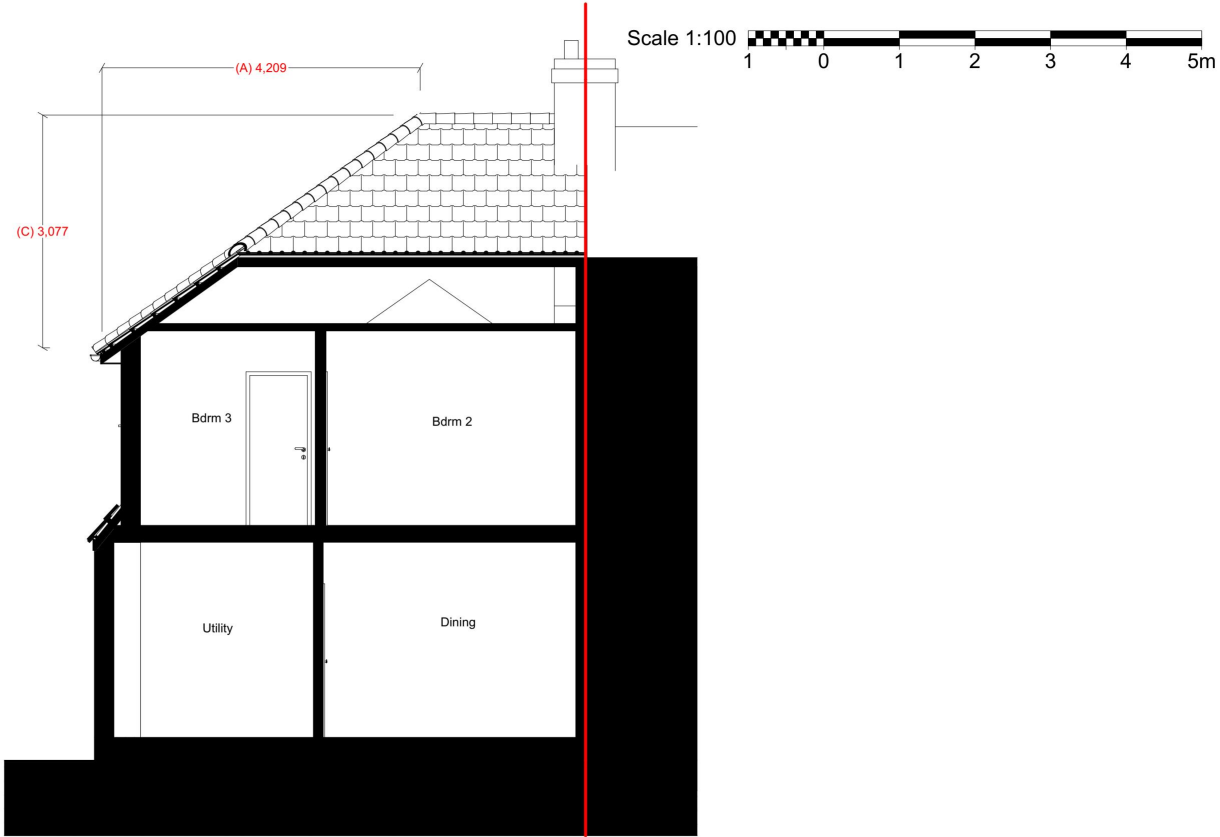
Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Extg and Props Adj and Front Elev		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	Drawing No.	Revision	Scale@A3
May 2024	PL.2	A	1:100

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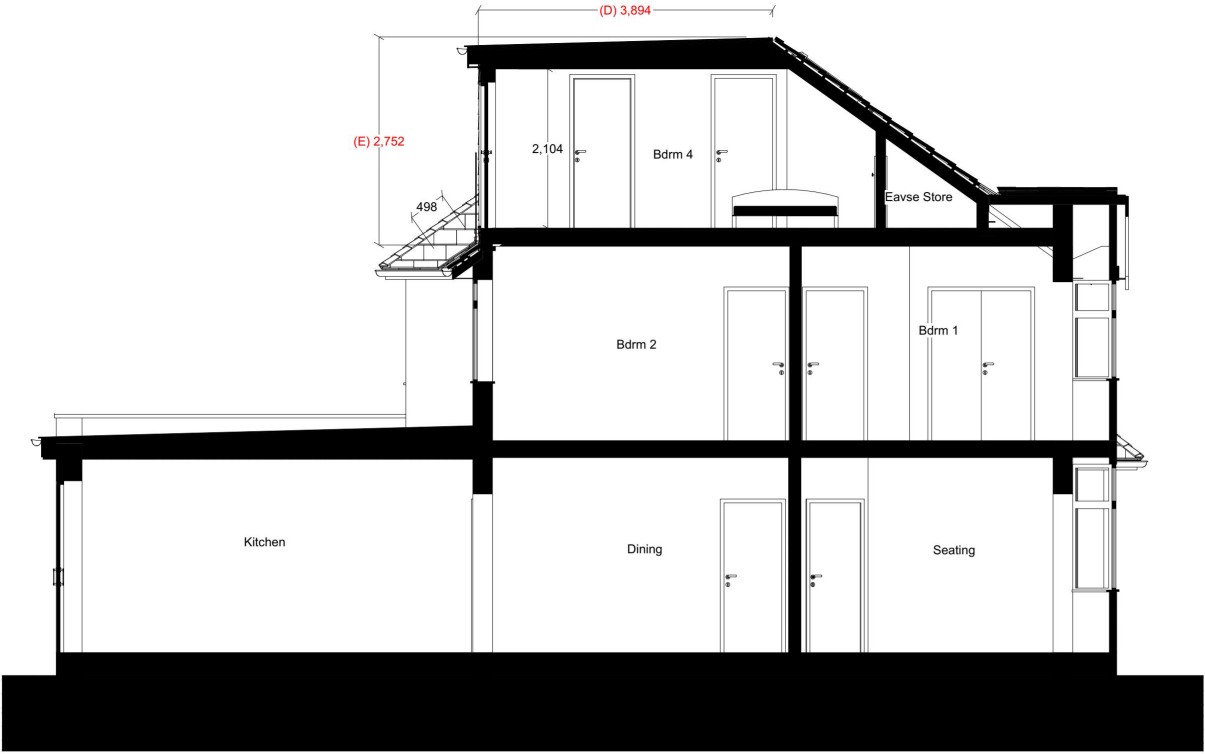
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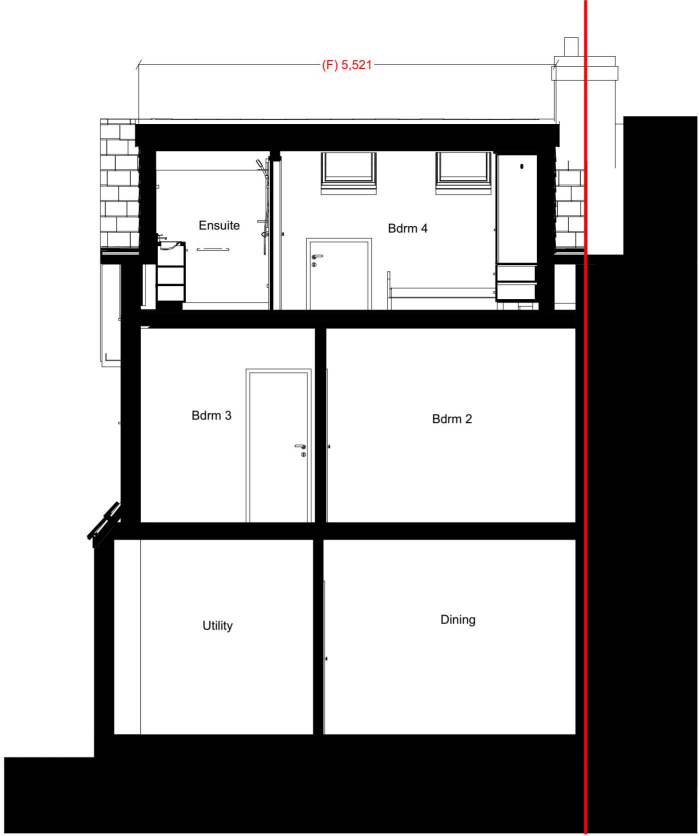
S-01 | Extg Building Section 1:100



S-02 | Extg Building Section 1:100



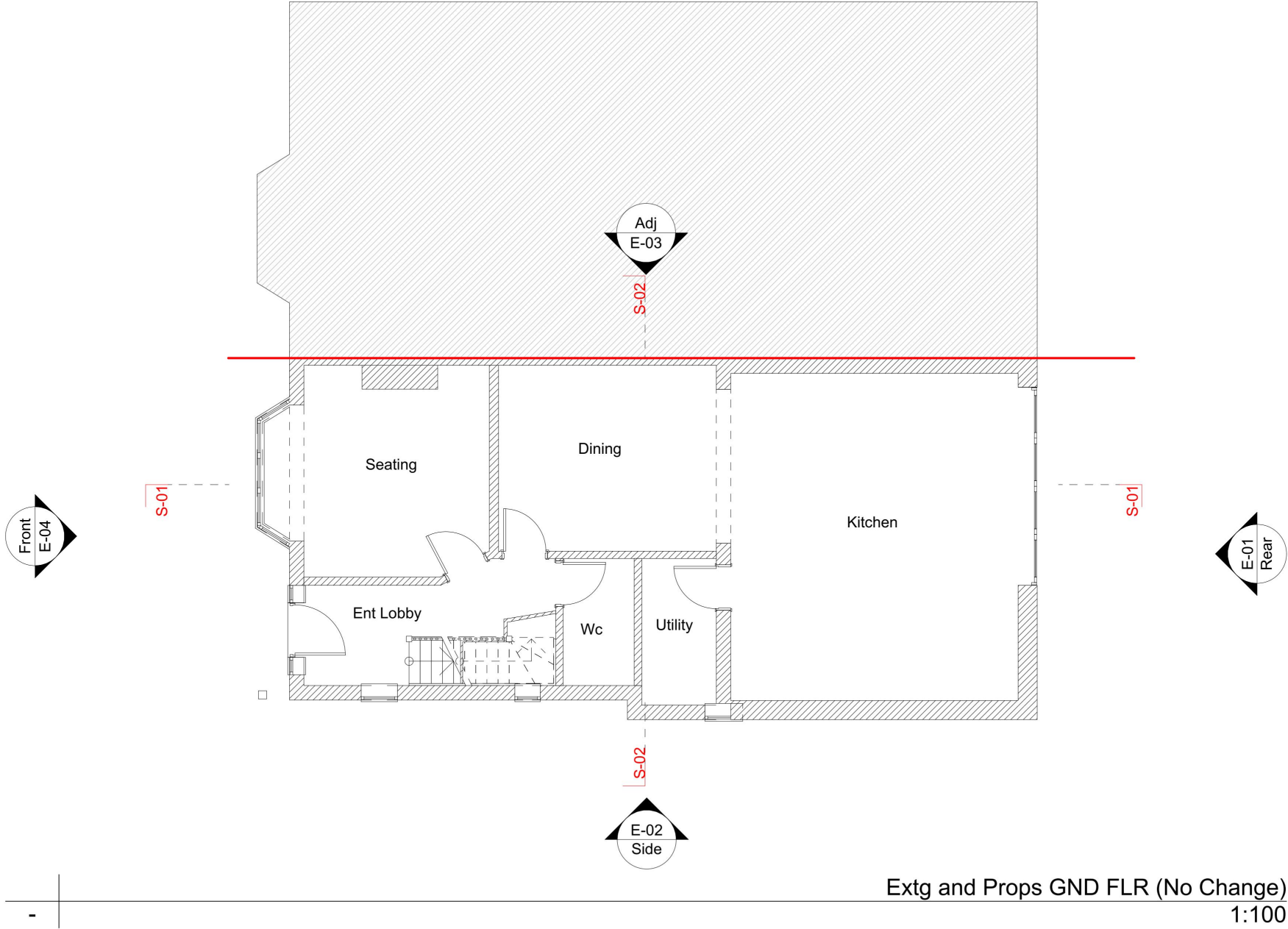
S-01 | Props Building Section 1:100



S-02 | Props Building Section 1:100

Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Extg and Props Section S-01		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	Drawing No.	Revision	Scale@A3
May 2024	PL.3	A	1:100

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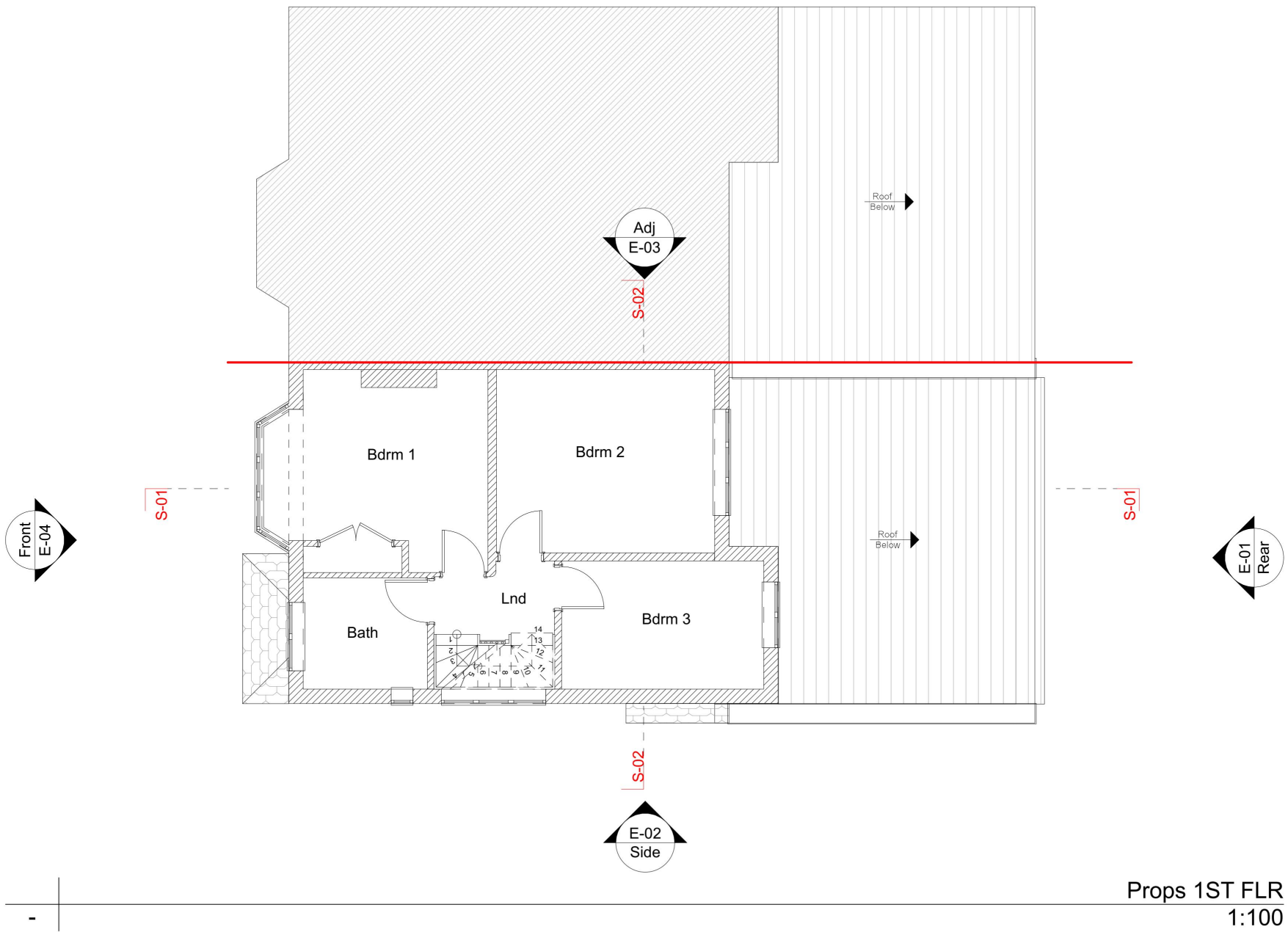


Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Extg and Props GND FLR		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	May 2024	Drawing No. PL.4	Revision A
			Scale@A3 1:100



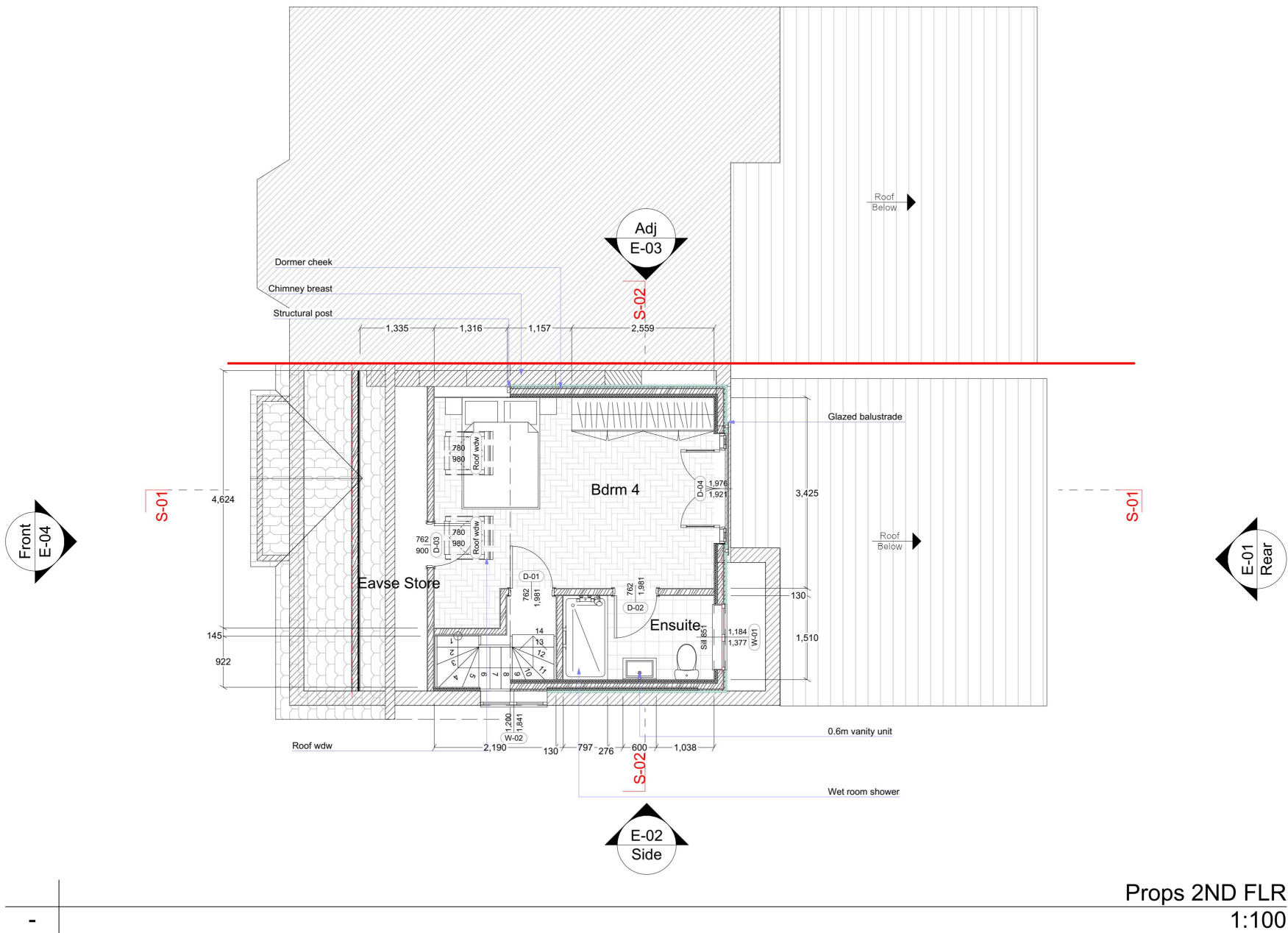
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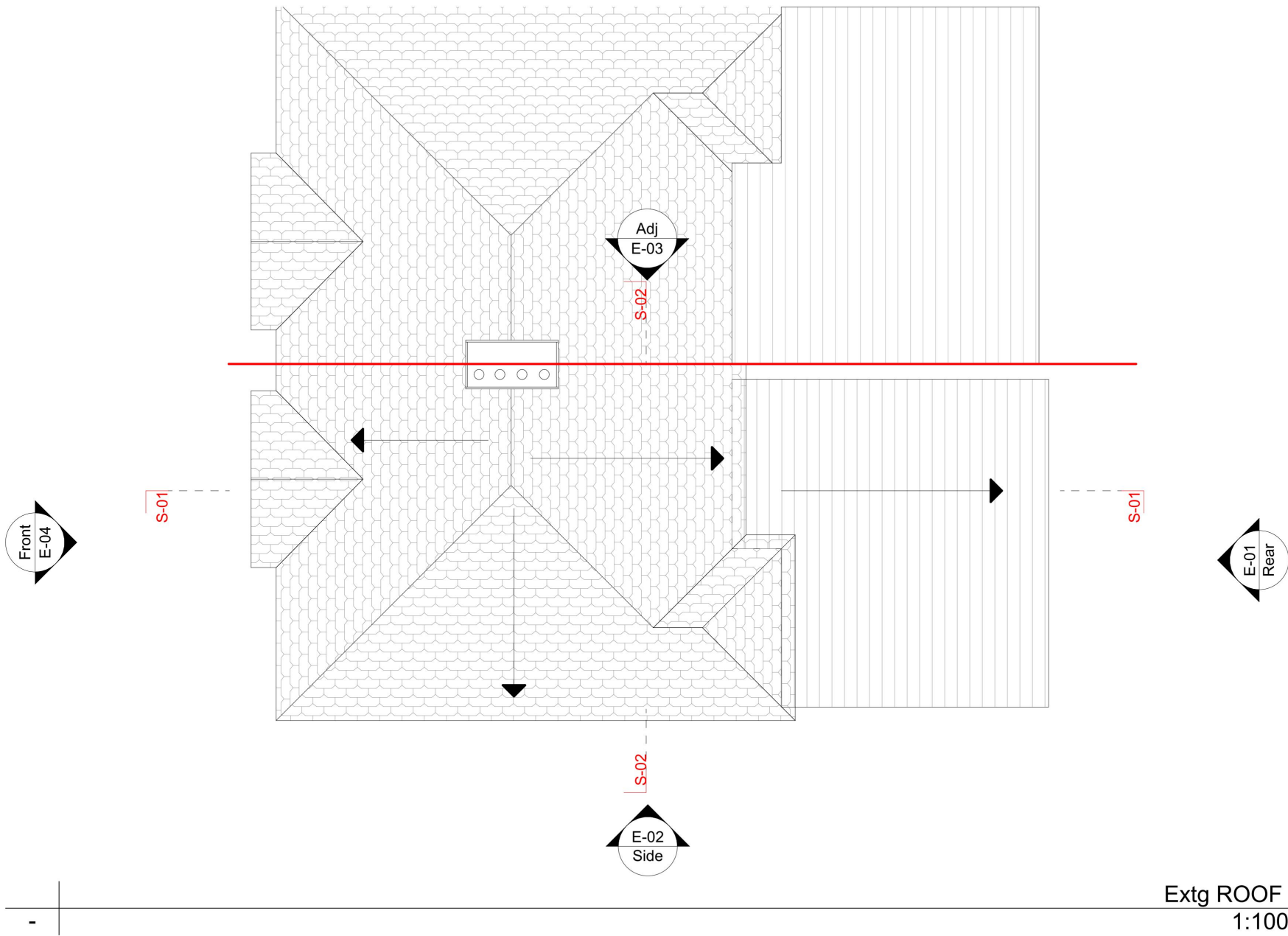


Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Props 1st Flr		
Drawing Status	Drawn by	Checked	
Building Control	BB	AK	
Issue Date	Drawing No.	Revision	Scale@A3
May 2024	PL.6	A	1:100

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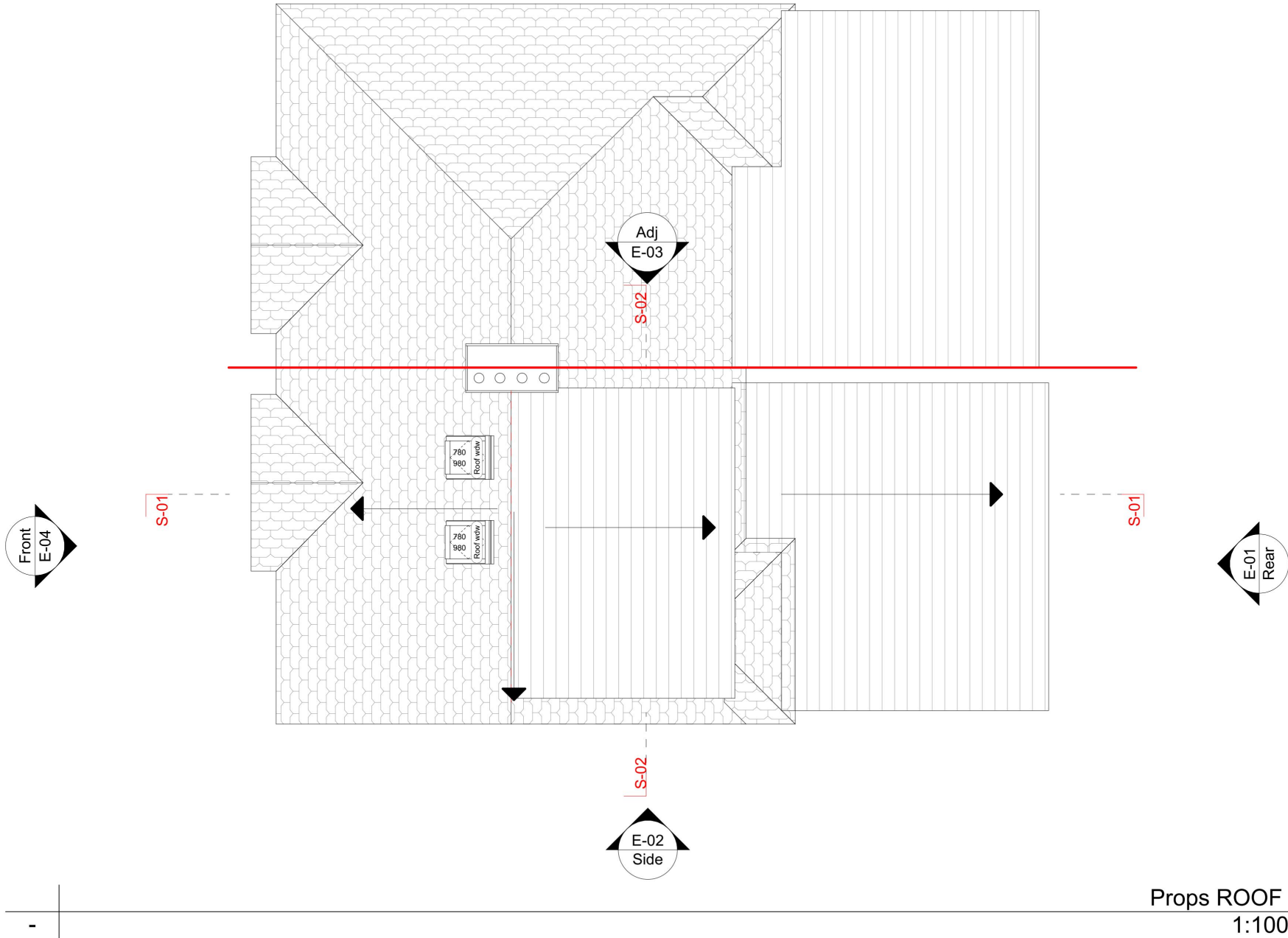


Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Props 2nd Flr		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	May 2024	Drawing No. PL.7	Revision A
			Scale@A3 1:100



Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Extg ROOF		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	Drawing No.	Revision	Scale@A3
May 2024	PL.8	A	1:100

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Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Props ROOF		
Drawing Status	Drawn by	Checked	
Building Control	BB	AK	
Issue Date	Drawing No.	Revision	Scale@A3
May 2024	PL.9	A	1:100

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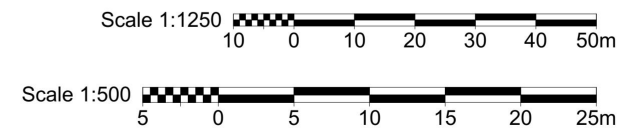


Site Map
1:1250



Extg Block Plan
1:500

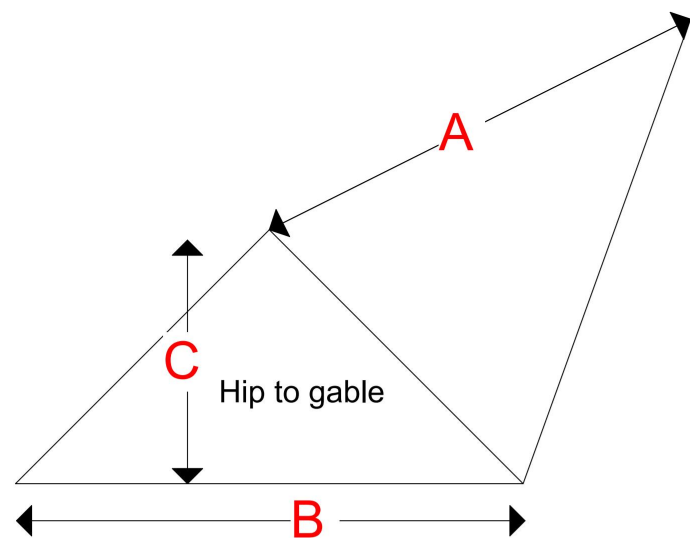
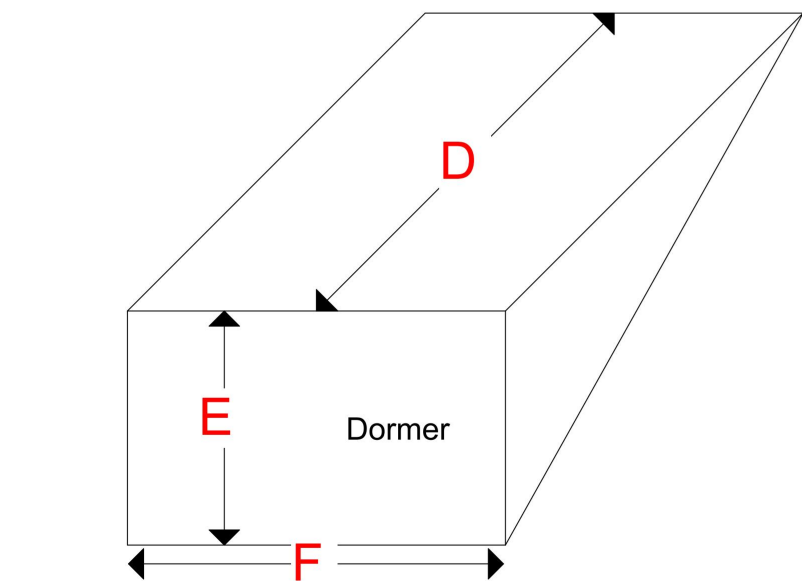
Props Block Plan
1:500



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Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Site Map		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	May 2024	Drawing No. PL.10	Revision A
			Scale@A3 1:1250, 1:500

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All dimension taken from plan, dimensions have been rounded to the nearest figure.

Hip to gable volume calculation

4.20m (A) width from the hip to gable
÷3 ×
9.5m (B) length from front eaves to rear eaves
×
3.07m (C) height from the eaves to the ridge
÷2

=20.41m3

Dormer project volume calculation

3.89m (D) width of dormer from house ridge to dormer wall
×
2.75m (E) height of dormer from eaves to highest point
×
5.52m (F) length of dormer from cheek to cheek
÷2

= 29.52m3

Conclusion: Hip to gable 20.41m3 + dormer project 29.52m3 = 49.93m3

Permitted allowance for this type of property 50m3

Site Address	62 Upminster Road Hornchurch RM12 6PJ		
Applicant	David and Nikki Rowlandson		
Application	Full Plans		
Project Description	Hip to gable loft conversion with roof light to front roof slope		
Drawing Description	Evidence to Verify Application		
Drawing Status	Building Control	Drawn by BB	Checked AK
Issue Date	May 2024	Drawing No. PL.11	Revision A
		Scale@A3	