

NOTES

Do not scale dimensions from this drawing except for Local Authority planning purposes.

The contractor is responsible for checking dimensions, tolerances and references. Any discrepancies to be verified with the Project Manager before proceeding with the works.

Original
Paper Size

A1



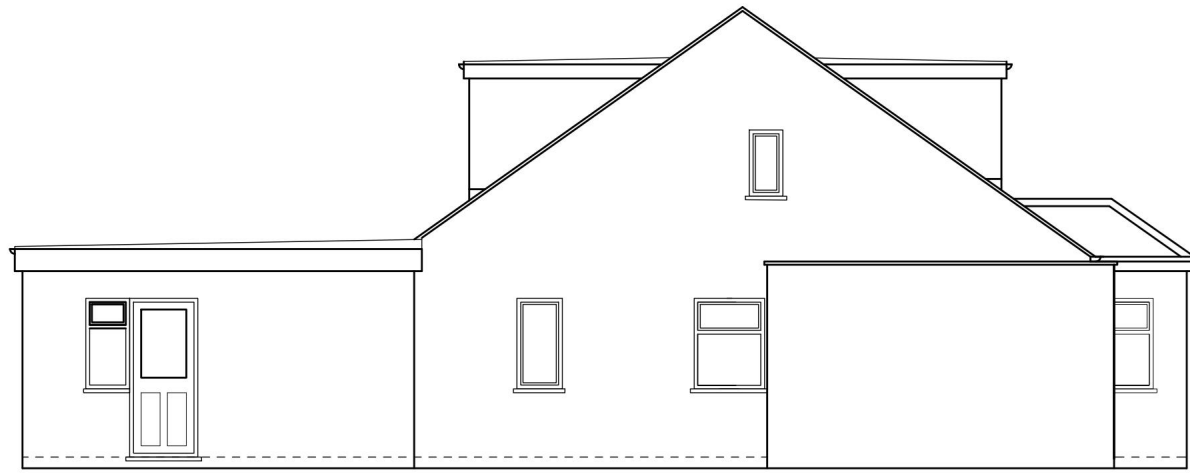
Front Elevation
1 : 100



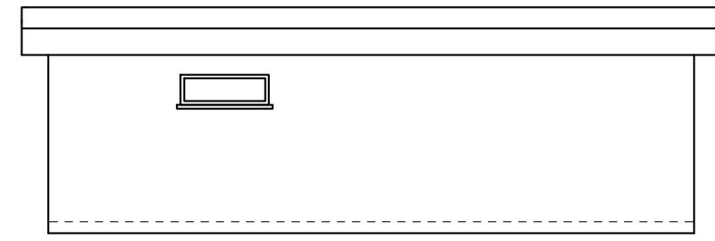
Side Elevation
1 : 100



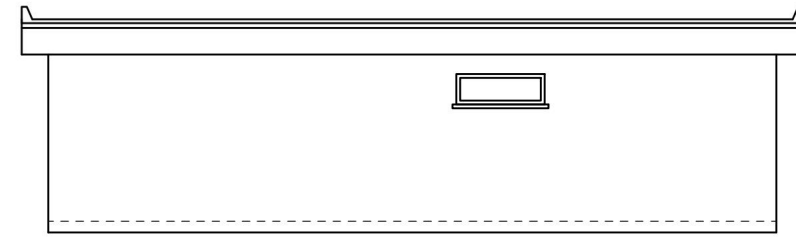
Rear Elevation
1 : 100



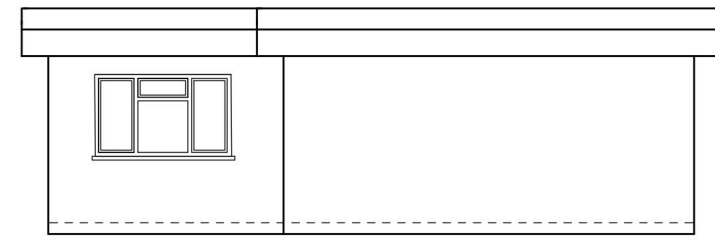
Side Elevation
1 : 100



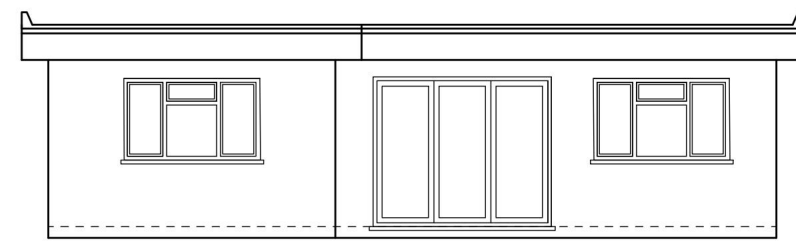
Annex Side Elevation
1 : 100



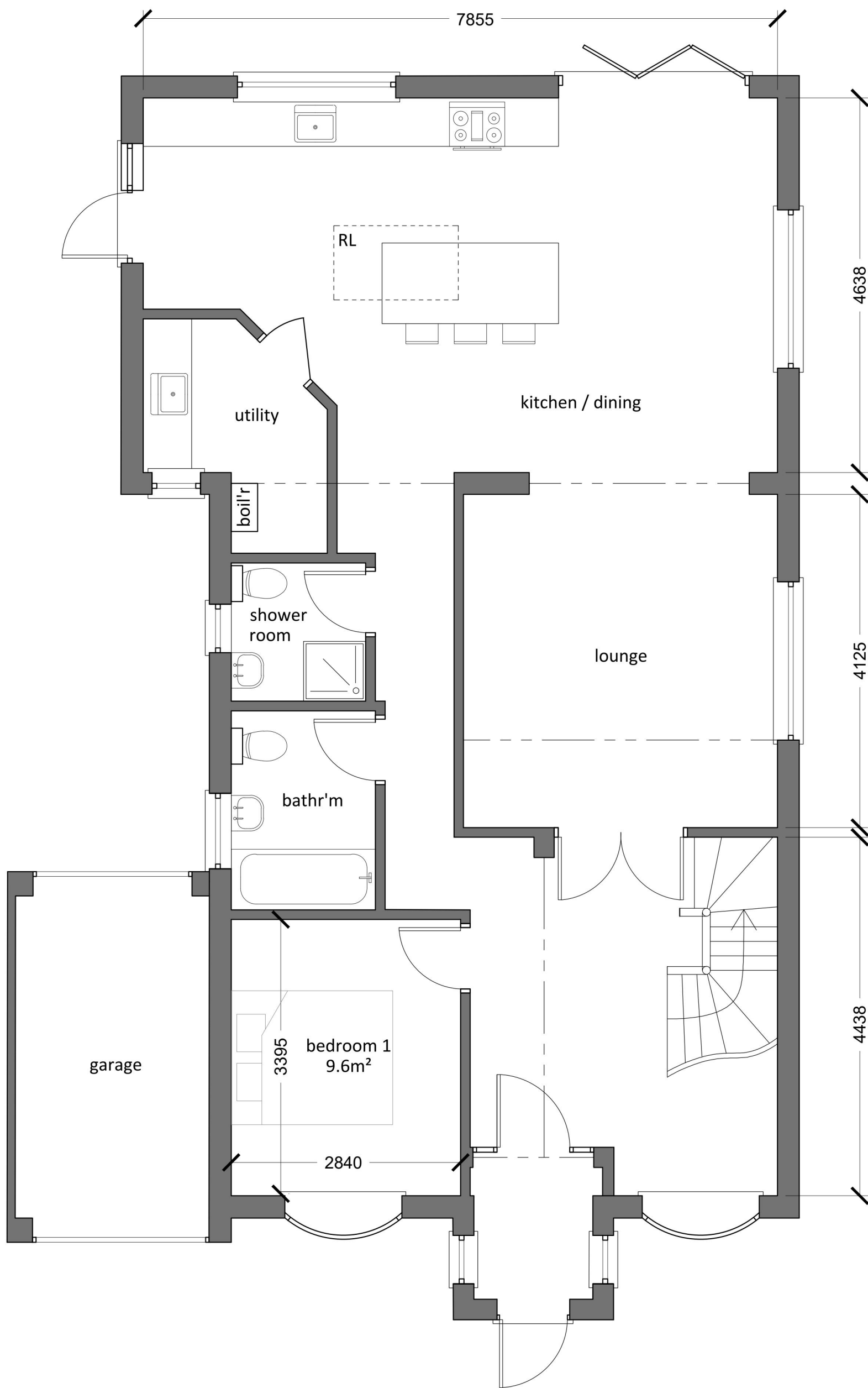
Annex Rear Elevation
1 : 100



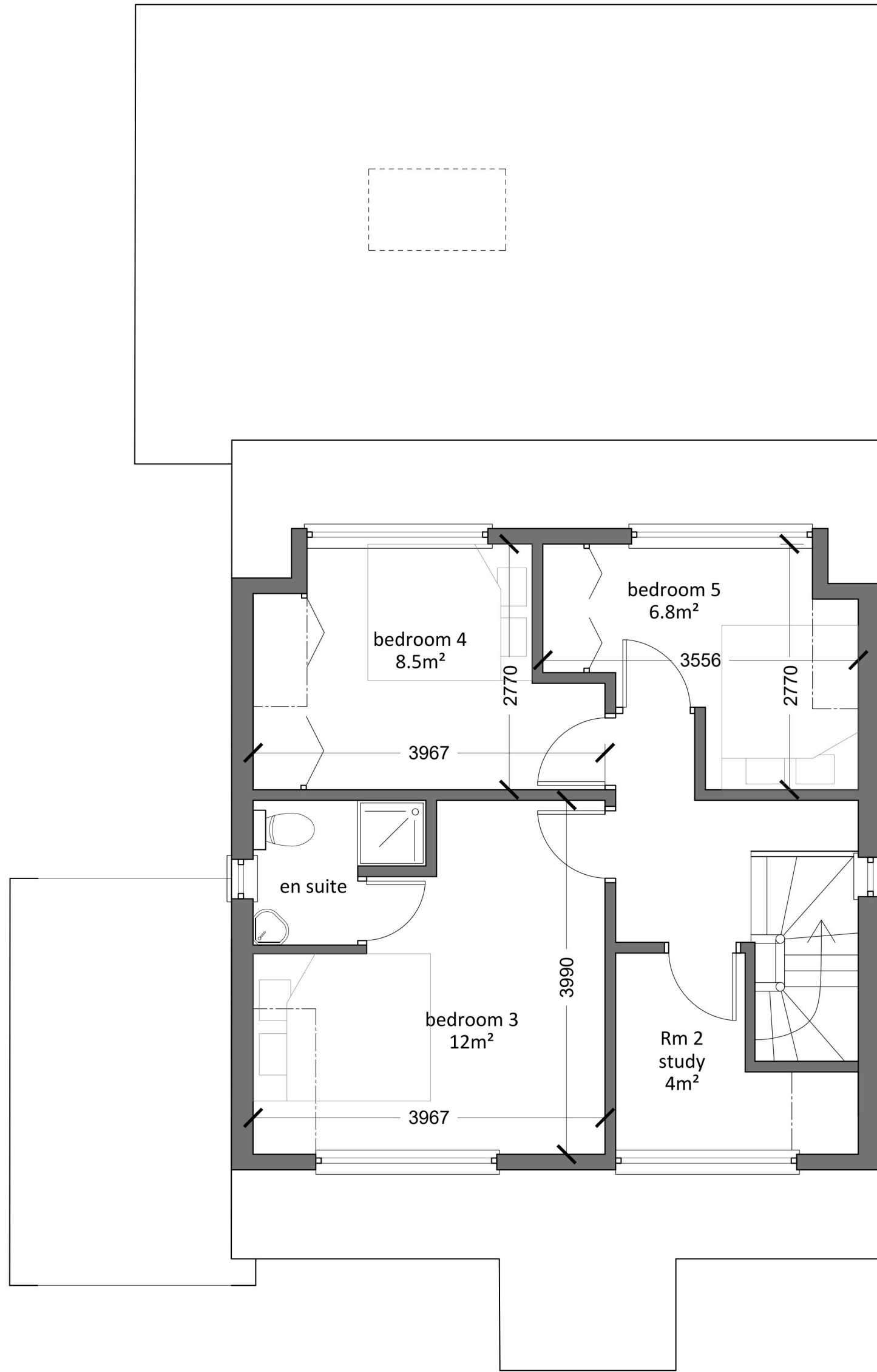
Annex Side Elevation
1 : 100



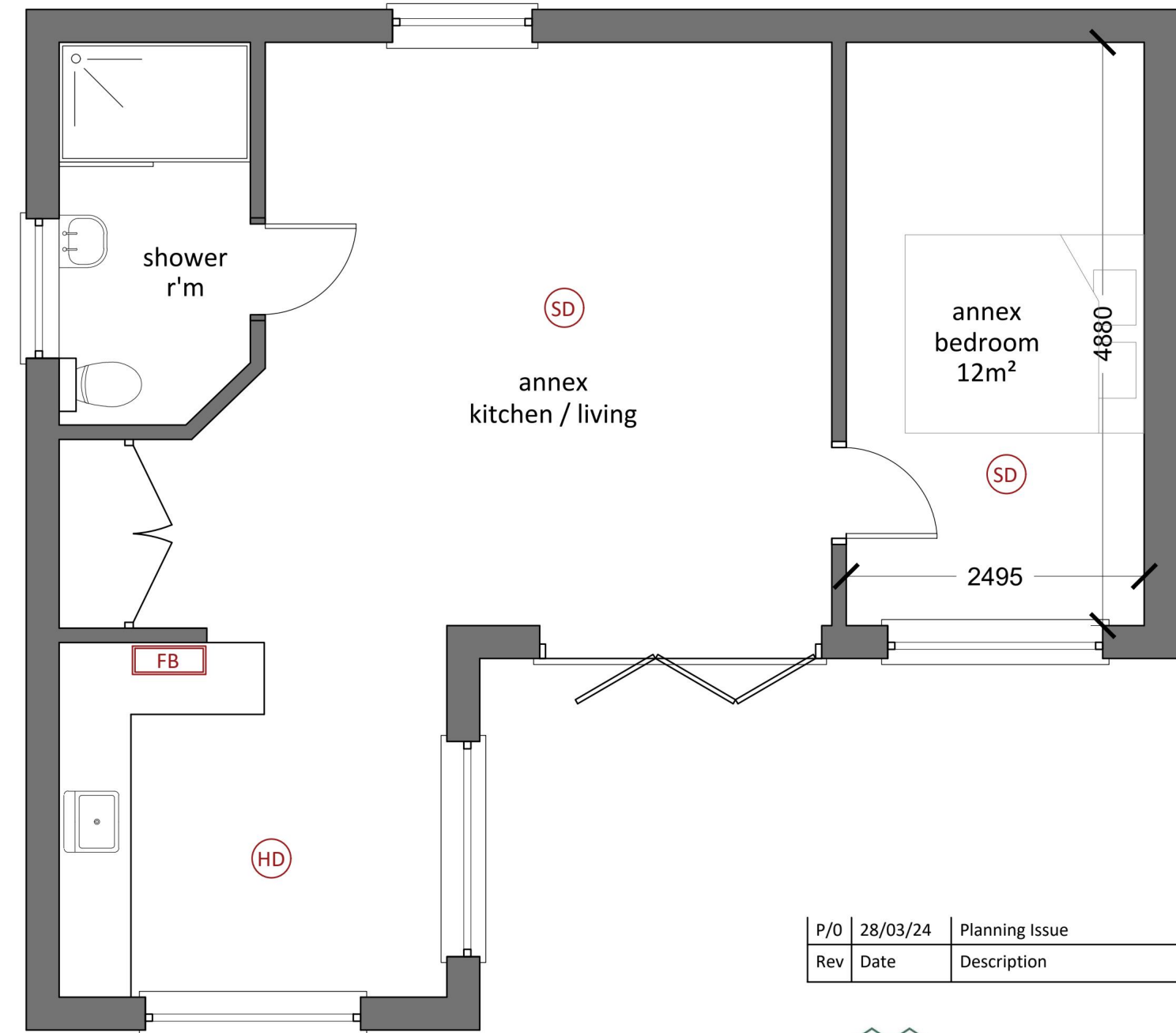
Annex Front Elevation
1 : 100



Ground Floor Plan
1 : 50



First Floor Plan
1 : 50



ANNEX Ground Floor Plan
1 : 50

P/O	28/03/24	Planning Issue	
Rev	Date	Description	Chk



STEDMAN
CONSULTING

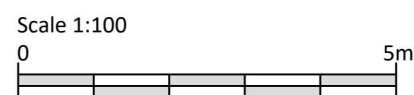
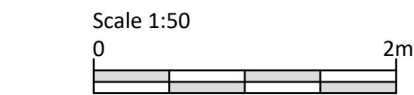
Tel: +44 (0)1932 851 950 Mob: +44 (0)7954 374973
stedmanconsulting.co.uk

Project
12 King Edward Avenue
Rainham
Havering
RM13 9RJ

Drawing

Existing Plans & Elevations

Drawn By	WT	Date	27/03/2024
Project Manager	-	Scale	1:100 & 1:50
Project No.	0585	Drawing No.	01
		Stage/Rev	P/0



NOTES

Do not scale dimensions from this drawing except for Local Authority planning purposes.

The contractor is responsible for checking dimensions, tolerances and references. Any discrepancies to be verified with the Project Manager before proceeding with the works.

Original
Paper Size

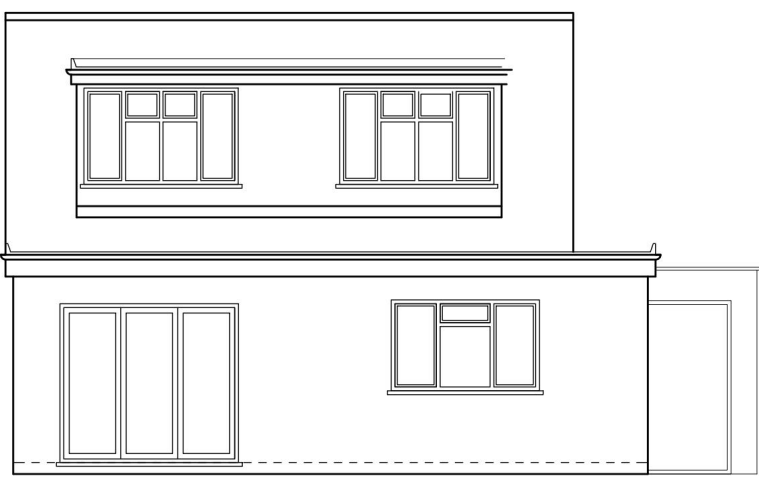
A1



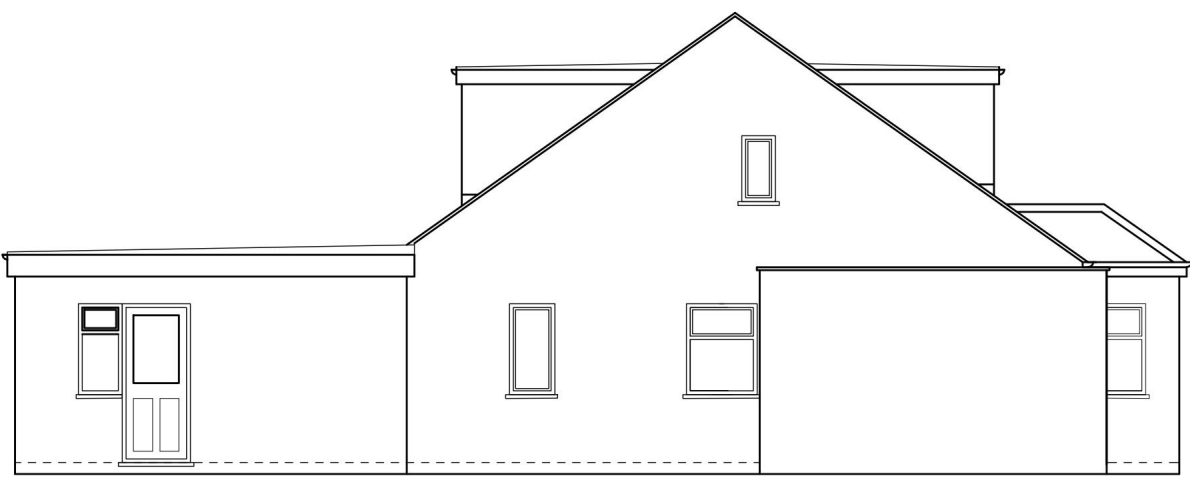
Front Elevation
1 : 100



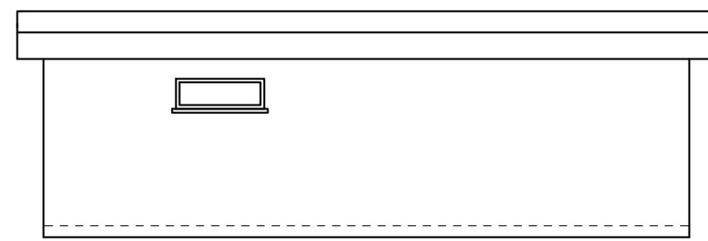
Side Elevation
1 : 100



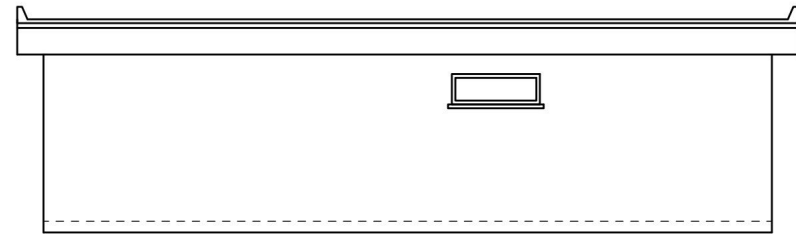
Rear Elevation
1 : 100



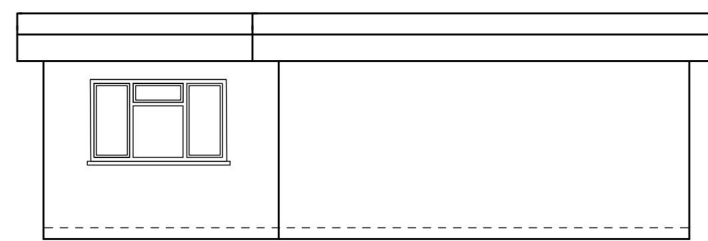
Side Elevation
1 : 100



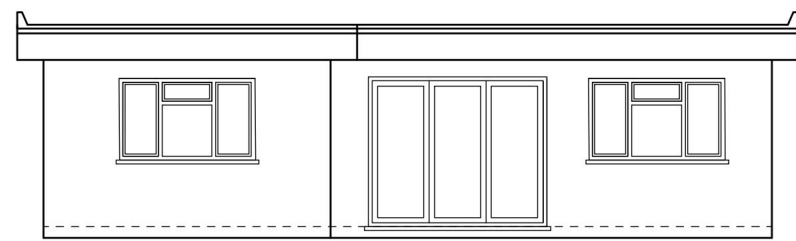
Annex Side Elevation
1 : 100



Annex Rear Elevation
1 : 100



Annex Side Elevation
1 : 100



Annex Front Elevation
1 : 100

Preliminary Works- Apply & obtain a License from the LA to permit use as a House in Multiple Occupation, in accordance with their requirements, and that of the Housing Act 2004, and obtain Building Control Approval for alterations. A Fire Risk Assessment is to be completed by a competent person and fire safety standards to be based on the latest edition of the Lacors Housing Fire Safety Guidance or equivalent. A minimum EPC rating of E is required.

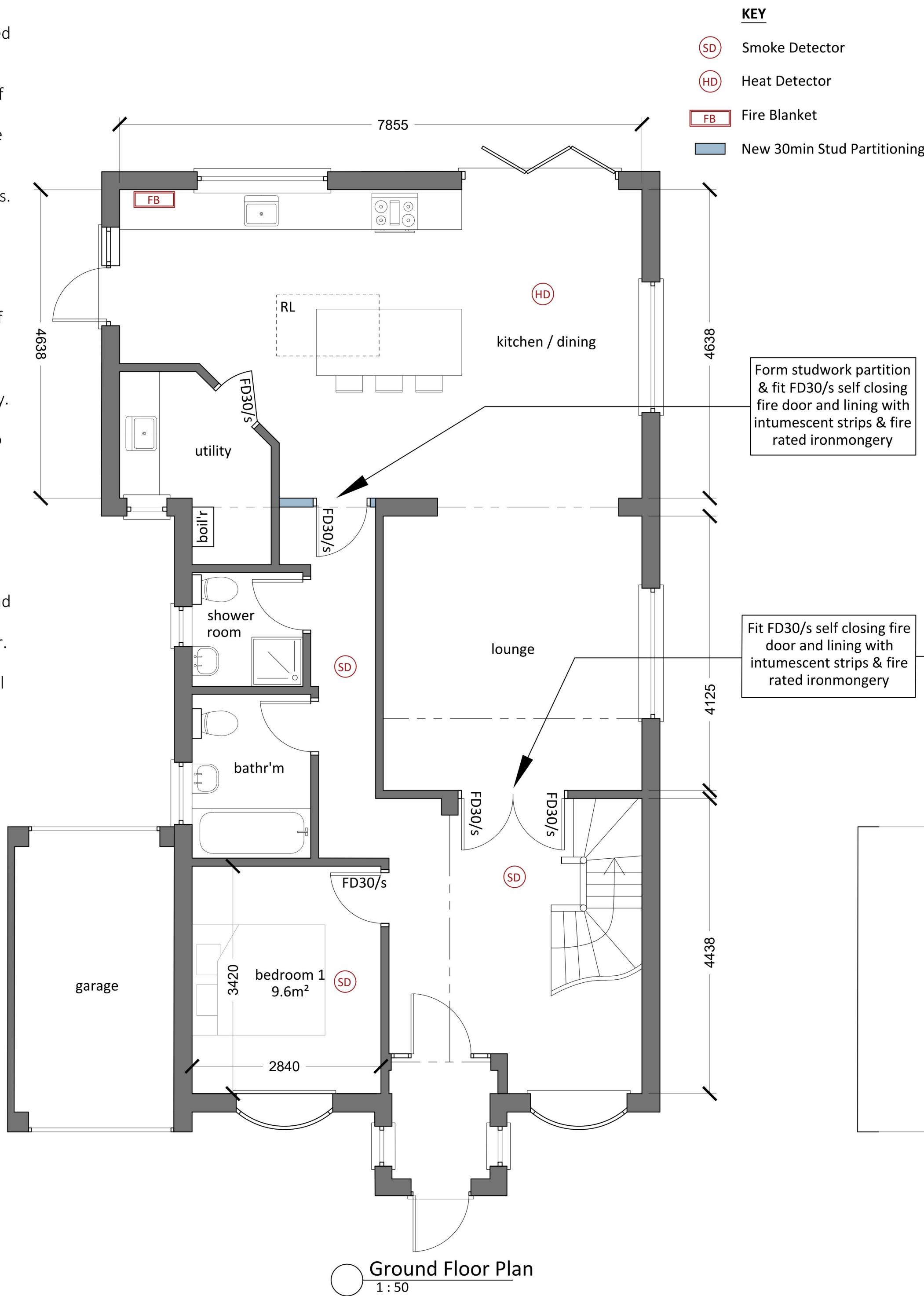
Internal Partitioning - Internal stud partition walls to be 30min fire rated and fully insulated and clad in dense plasterboard (10kg/m² min) on 38x68 mm sw studs, plates and noggins provided at mid height and for fixings.

Means of Escape - From first floor to be via route protected by FD30 fire doors with intumescent strips fitted to side and top edges. Kitchen doors to be FD30S self closing in purpose made linings with intumescent strips and smoke seals. Emergency Lighting to be provided to adequately illuminate the escape stairwell if main electrical supply fails. Mains operated smoke alarms to BS 5839-6 Grade D to be provided to all protected entrance halls interlinked with those in the common escape stair, landings and ground floor hallway. All common areas to have Class O spread of Flame to walls and ceilings. Intumescent collars to be provided to all pipes and ducts in excess of 50 mm dia perforating compartment floors and party walls. Electrical intake cupboard to be 30 min fire resisting construction. Gas & Electrical Installation-The competent person designing, constructing, inspecting and testing the electrical installation for this project is to do so in accordance with BS 7671 and The Domestic Building Services Compliance Guide 2010 as Approved Doc L1 and issue a certificate (in accordance with Part P of the building regulations) to the building owner and occupier. All heating and gas appliances to be maintained and certified by a Gas Safe Registered Engineer on an annual basis or for new installations and a test certificate provided.

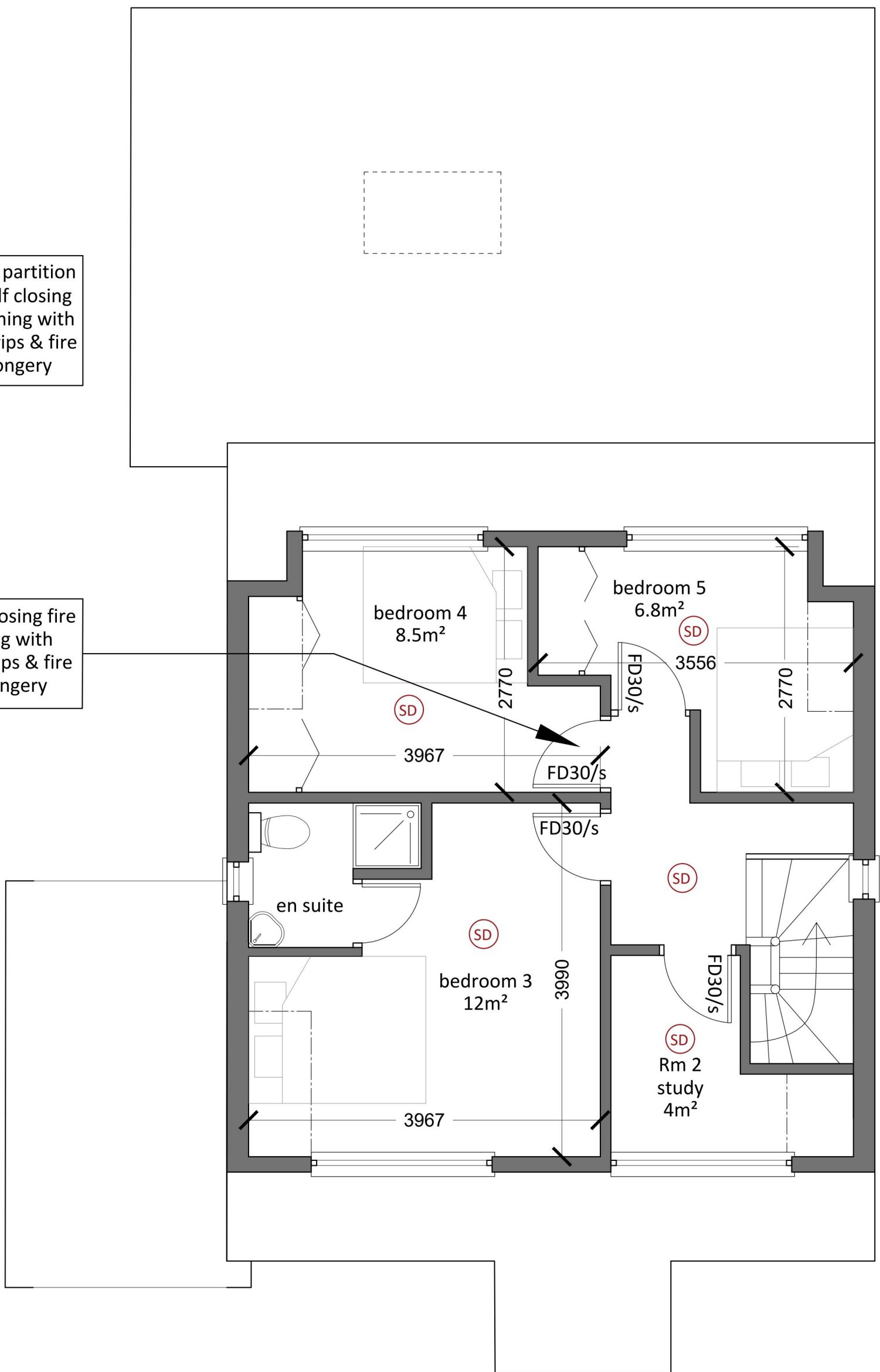
Design and Build-These plans have been prepared for Planning Approval and are not full working drawings. The contractor is to allow to complete construction in a workmanlike manner, in accordance with CDM Regulations (2015) and ensure all materials are fit for purpose and notify the client of any errors or omissions that become clear as work proceeds. All work , inspections and procedures laid down in the current Building Regulations are to be fully adhered to and inspection fees included.

SPACE STANDARDS	
Maximum number of occupiers per room based on floor space in Houses in Multiple Occupation with shared kitchen facilities in a separate room	
6.5m ² will be allowed as a minimum providing there is sufficient communal space available	1 Person (1 household) (of any age)
10.2m ² will be allowed as a minimum providing there is sufficient communal space available	2 Persons (1 household)

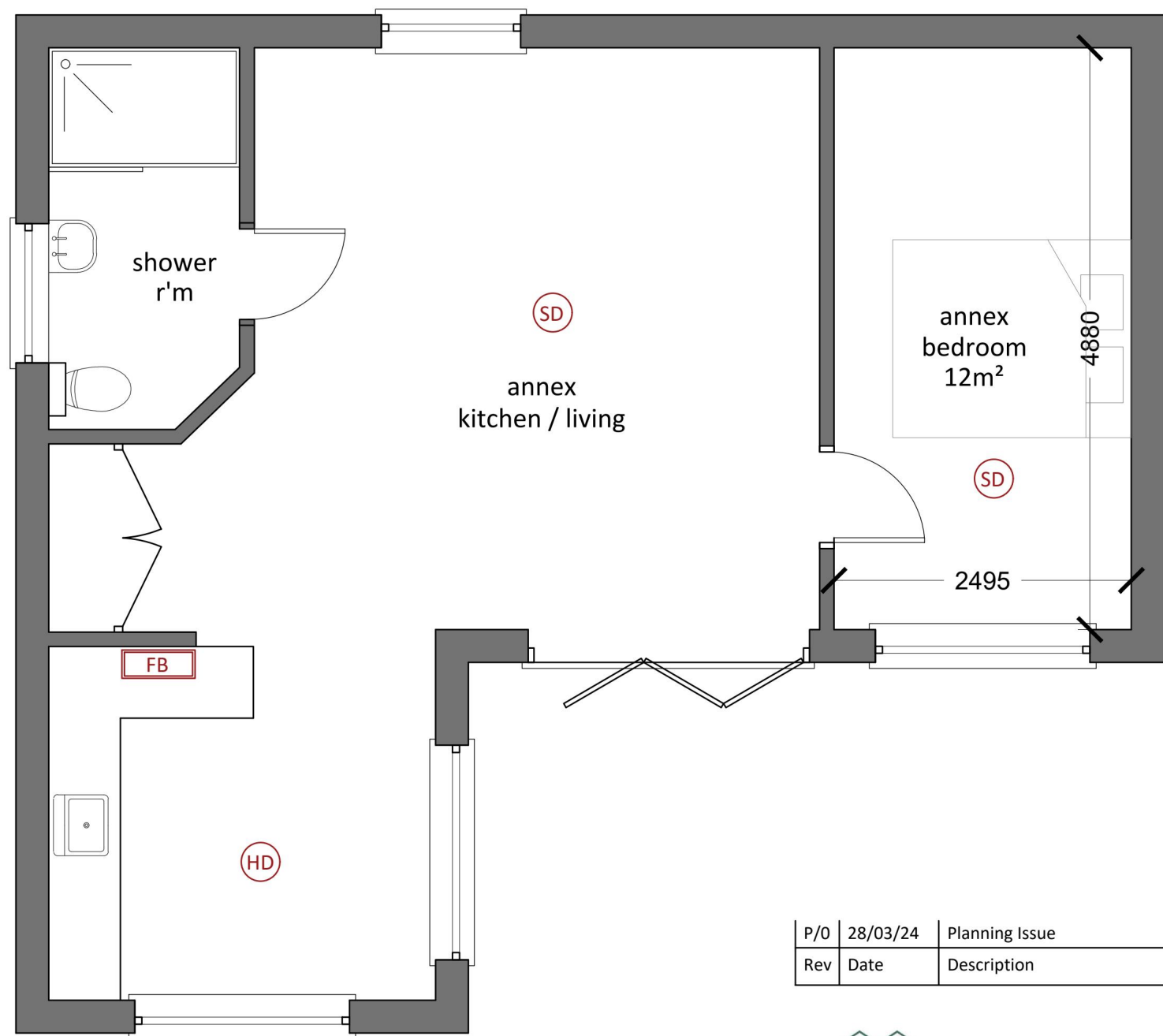
PROPOSED NUMBER OF
OCCUPANTS = 7 CARE
WORKERS / CLIENTS



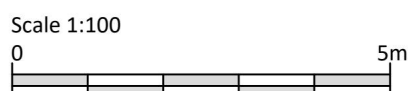
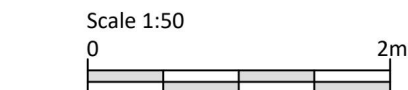
Ground Floor Plan
1 : 50



First Floor Plan
1 : 50



ANNEX Ground Floor Plan
1 : 50



P/O	28/03/24	Planning Issue	
Rev	Date	Description	Chk

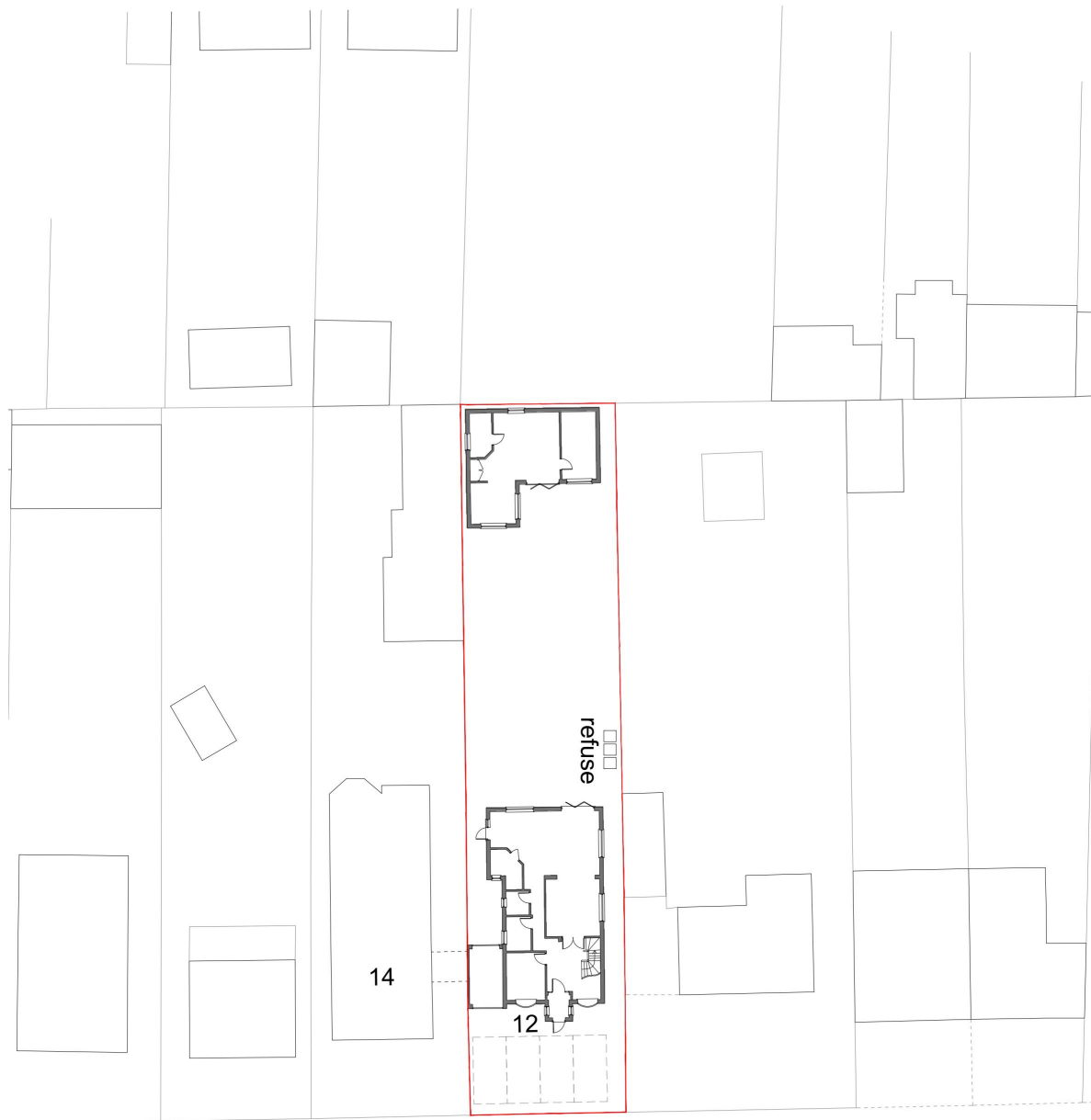
STEDMAN CONSULTING
Tel: +44 (0)1932 851 950 Mob: +44 (0)7954 374973
stedmanconsulting.co.uk

Project
12 King Edward Avenue
Rainham
Havering
RM13 9RJ

Drawing

Proposed Plans & Elevations

Drawn By	WT	Date	27/03/2024
Project Manager	-	Scale	1:100 & 1:50
Project No.	0585	Drawing No.	02
		Stage/Rev	P/0



KING EDWARD AVENUE

© Crown copyright 2024 Ordnance Survey 100053143



STEDMAN
CONSULTING

Tel: +44 (0)1932 851 950 Mob: +44 (0)7954 374973
stedmanconsulting.co.uk

Drawing

Block Plan

Project

12 King Edward Avenue
Rainham
Havering
RM13 9RJ

Scale

1:500 @ A4

Drg No.

0585 04 P1

Scale 1:500

