

OFFICER REPORT FOR DECISION UNDER DELEGATED AUTHORITY

APPLICATION NO: P0159.24

WARD: South Hornchurch **Date Received:** 2nd February 2024

ADDRESS: 118 Hubert Road
Rainham

PROPOSAL: Conversion of existing garage to habitable space, single storey side and rear extension and loft conversion to include the conversion of roof from hip to gable end

DRAWING NO(S): CC/19/23/B (Plan 1 of 2)
CC/19/23 (Plan 2 of 2)
Proposed Extensions & Alterations at 118 Hubert Road (Site Location Plan)
Email from Planning Agent to Officer (dated 02/04/2024)

RECOMMENDATION: It is recommended that **planning permission be GRANTED** subject to the condition(s) given at the end of the report

SITE DESCRIPTION

The application site features a detached bungalow. It currently benefits from a small extension to the rear as well as a side garage. It is not a listed building, nor is located within a conservation area.

DESCRIPTION OF PROPOSAL

Planning permission is sought for the conversion of existing garage to habitable space, single storey side and rear extension and loft conversion to include the conversion of roof from hip to gable end.

1. The proposed side/rear extension would measure 5m deep.

RELEVANT HISTORY

None found

CONSULTATIONS/REPRESENTATIONS

Neighbour notification was carried out and the comments received can be summarised as follows:

- Proposed development would be in close proximity to substation. Observations and advice relating

to impact of proposals on substation offered:

1. Works notifiable under the Party Wall Act if located within 6m of the substation
2. Distance between buildings and substations should be greater than 7m as far as practically possible
3. Buildings should be kept separate from substation structures
4. Buildings should be designed to prevent overlooking and to not have opening windows over the substation
5. Noise attenuation methods expected to be covered by developer
6. Development could have detrimental impact on right of access to and from substation
7. Consideration should be given during design of development to requirement of UK Power Network for 24 hour vehicular access to substations
8. Positioning of building materials should not compromise security of substation
9. Works should be undertaken with regards to Health & Safety Guidance notes HS(g)47 Avoiding Danger from Underground services

Response:

Points 1 to 3 and 5 to 9 are not material planning considerations and so will not be addressed below. Point 4 will be considered below however.

The responses received from other stakeholders can be summarised as follows:

* LBH Highways - No comment

RELEVANT POLICIES

NPPF

London Plan (adopted 2021):

- Policy D1 - London's form, character and capacity for growth
- Policy D4 - Delivering good design
- Policy T6 - Car parking

Havering Council Local Plan (2016-31):

- Policy 7 (Residential design and amenity)
- Policy 24 (Parking provision and design)
- Policy 26 (Urban Design)

The Residential Extensions and Alterations Supplementary Planning Document (SPD)

MAYORAL CIL IMPLICATIONS

This application is not CIL liable because the newly created floor space would be less than 100

square metres.

STAFF COMMENTS

In accordance with the Council's current criteria for site visits, an in-person site visit was not undertaken as one was not considered to be necessary. Site photos were provided by the planning agent in support of this application. In determining this planning application, photos, Google Street View, aerial view images and submitted drawings were used to assess the site's constraints.

During the application process, the officer suggested that the roof of the rear extension was amended from a gabled to hipped end to reduce the bulk of the proposals at roof level and for the roof design of the proposals to be more in-keeping with the roof of the main dwelling. The agent declined to revise the proposal accordingly however.

DESIGN/IMPACT ON STREET/GARDEN SCENE

With regards to the depth and scale of the proposed side/rear extension, this element of the proposals would project 5m deep and therefore would be in excess of SPD guidelines. Given the host dwelling benefits from a sizable rear garden, however, it is not considered the extension would dominate its rear garden scene. On balance therefore, its impact on the rear garden environment is considered acceptable.

Given there are other properties within Hubert Road with rear facing gabled roofs, it is not considered that the hip to gable roof conversion would be harmful to the character of the property or the visual amenities of the rear garden scene.

The garage conversion would involve the replacement of the existing garage doors with windows. Given these windows would be of a similar appearance to the windows of the existing dwelling, it is not judged that the garage conversion would be detrimental to the street scene.

IMPACT ON AMENITY

In terms of the impact of the side/rear extension on 120 Hubert Road, satellite images and site photographs show that this neighbour benefits from a rear extension and rear conservatory. Given these extensions to this neighbour as well as the fact that there would be a separation distance of approximately 4m between the proposal and the flank wall of this neighbour, it is not considered that the side/rear extension would be detrimental to the amenity of these neighbours.

As for its impact on no. 114 Hubert Road, the side/rear extension would be located hard up against the common boundary with this neighbour. Satellite images and site photographs show that this neighbour benefits from a small rear extension. Owing to this extension, the proposal would not extend beyond the rear of this neighbour. It is noted that this neighbour benefits from a flank window that faces the application site. Based on the drawings submitted for the planning application for extensions to the property (application reference: P0330.24), this window serves a kitchen. Given the site photos submitted show that outlook from this window is already obstructed by a close boarded fence along the shared boundary between the two properties. Given the already limited

outlook from this window, it is not envisaged that and the impact of this proposal on this window would be so harmful so as to warrant a refusal of the scheme.

The garage conversion would involve the replacement of its existing door with windows. As the windows would face the street, a public area, it is not considered that this element of the scheme would be detrimental to neighbouring amenity.

It is not considered that the hip to gable roof conversion would be detrimental to neighbouring amenity.

There is no substation in close proximity to the application site so it is not deemed that the proposed developments would cause overlooking to any substation.

HIGHWAY/PARKING

A car parking space (inside the existing side garage) would be lost as a result of the proposed garage conversion but given there is car parking space directly in front of the site for at least two vehicles, it is not considered that the garage conversion would present highways or parking issues.

KEY ISSUES/CONCLUSIONS

Having regard to the above and in doing so all relevant planning policy and material considerations, APPROVAL is recommended accordingly subject to conditions.

RECOMMENDATION:

It is recommended that **planning permission be GRANTED** subject to the following condition(s)

1 SC4 (Time limit) 3yrs

The development to which this permission relates must be commenced not later than three years from the date of this permission.

Reason:-

To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2 SC10C Materials as per application form

The proposed developments hereby approved shall be constructed in accordance with the materials detailed under the materials section of the application form unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that the appearance of the proposed development will harmonise with the character of the surrounding area.

3 SC32 (Accordance with plans)

The developments hereby permitted shall not be carried out otherwise than in complete accordance with the approved plans (as set out on page one of this decision notice).

Reason:-

For the avoidance of doubt and to ensure that the development is carried out as approved.

4 Non Standard Condition 32

The proposed ground floor flank windows shown on the drawing 'CC/19/23/B (Plan 1 of 2)' accompanying the application shall be permanently glazed with obscure glass not less than level 3 on the standard scale of obscurity and shall thereafter be maintained, and also be non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed.

Reason:-

In the interests of privacy.

5 SC46 (Standard flank window condition)

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015, no window or other opening (other than those shown on the submitted and approved plan,) shall be formed in the flank wall(s) of the building(s) hereby permitted, unless specific permission under the provisions of the Town and Country Planning Act 1990 has first been sought and obtained in writing from the Local Planning Authority.

Reason:-

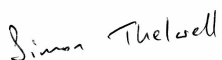
In order to ensure a satisfactory development that will not result in any loss of privacy or damage to the environment of neighbouring properties which exist or may be proposed in the future.

INFORMATIVES

1 Approval - No negotiation required

Statement Required by Article 35(2) of the Town and Country Planning (Development Management) Order 2015: No significant problems were identified during the consideration of the application, and therefore it has been determined in accordance with paragraph 38 of the National Planning Policy Framework.

Authorising Officer:



Simon Thelwell

5th April 2024