

Accessibility Statement

Proposed amendment of previously approved scheme ref: P0378.22 to include demolition of existing single storey bungalow and erection of 2no. 5 Bedroom semi-detached properties with associated car parking, cycle storage, refuse storage and amenity. Changes include using the loft space as habitable space with the right house to have a dormer to the rear. Both to have Velux to the front.

REF: P1892.23

At

3 Pettits Lane, Romford, RM1 4HL





1.0 Introduction

- 1.1 This Accessibility Statement has been prepared by @Architect in relation to a proposed development at 3 Pettits Lane, Romford, Essex, RM1 4HL, which is in the London Borough of Havering
- 1.2 This document is intended for the planning application reference 1892.23.
- 1.3 This document is to be read in conjunction with all other documentation submitted as part of this planning application.

Schedule of accommodation:

Unit	Occupancy	Spaces	NIA sqm	Overall GIA sqm
House 1	4 Bedroom (7 Persons)	Living Kitchen/Dining Utility Store W.c Office Bedroom 1 (Master) Master Ensuite Family Bathroom Bedroom 2 Bedroom 3 Bedroom 4 Bedroom 5 Loft Shower	13.5 26.7 2.5 1.2 6.5 12 3 3.4 12.7 9.6 14.4 10 3.3	153.6
House 2	4 Bedroom (7 Persons)	Living Kitchen/Dining Utility Store W.c Office Bedroom 1 (Master) Master Ensuite Family Bathroom Bedroom 2 Bedroom 3 Bedroom 4 Bedroom 5 Playroom Loft Shower	13.5 26.7 2.5 1.2 6.5 12 3 3.4 12.7 9.6 14.4 14.4 13.3 5	175.1

2.0 Accessibility & Inclusivity

- 2.1 The proposed scheme will meet /Exceed the requirements of building regulations approved document M to ensure the scheme is respectful & responds to users with specific accessibility needs.
- 2.2 The need for providing accessible homes is appreciated & required to cater for the aging population & persons with disabilities.
- 2.3 The scheme largely complies with lifetime homes standards which are aimed at ensuring homes are accessible & inclusive.
- 2.4 The development will be built to comply with Approved document M4 (1) as a minimum.
- 2.5 The development has provision for 2 No. car parking spaces on the front forecourt, per dwelling. This area is large enough to accommodate an accessible parking space should the need arise.
- 2.6 As this is a private development and not a public building no consultation has been undertaken with any access group.
- 2.7 We can add that level thresholds are within the proposal to both the front and rear entrances, and all around the building for accessible use. Consideration has been given to access from car parking and approach gradients.

Car / Cycle Storage

- 2.8 There is a deep front garden / driveway which provides off – street car parking for each dwelling in accordance with the Policy T6.1 (Table 10.03) Local London Plan.

2.9 **Table 10.3 - Maximum residential parking standards**

Location	Number of beds	Maximum parking provision*
Central Activities Zone Inner London Opportunity Areas Metropolitan and Major Town Centres All areas of PTAL 5 – 6 Inner London PTAL 4	All	Car free~
Inner London PTAL 3	All	Up to 0.25 spaces per dwelling
Inner London PTAL 2 Outer London Opportunity Areas	All	Up to 0.5 spaces per dwelling
Inner London PTAL 0 – 1	All	Up to 0.75 spaces per dwelling

- 2.10 The site falls within PTEL 2 Outer London, therefore requires a Maximum of 0.5 Spaces per dwelling. We allocated 1 space per dwelling.
- 2.11 Cycle storage is proposed in a secure sheltered area to the rear which can be accessed externally from the side of each dwelling.

Bin / Refuse Storage

- 2.12 The refuse and bin store is proposed within the rear garden which can be easily accessed from the external side access. This is step free on a level ground.

- 2.13 The location is within 30m from the collection point as specified in the LPA Waste management practice guidance for architects and developers.

Access to the Transport Network

- 2.14 The site is within PTAL study 2, which is neither good nor bad. The site is within Romford and its nearest train line is found at Romford station which is 0.8 miles (18-20 mins walk) away.
- 2.15 The closest bus stop is approximately 233ft (1 mins walk) away on Pettits Lane heading towards Main Road.

Car Provision

- 2.16 This area doesn't have permit parking scheme and parking does not appear to be a particular problem in this area or within the site.
- 2.17 There is ample parking to the front garden of the property.
- 2.18 As the site falls within PTAL 2 Outer London, therefore requires a maximum of 0.5 Spaces per dwelling. We have allocated 2 space per dwelling.

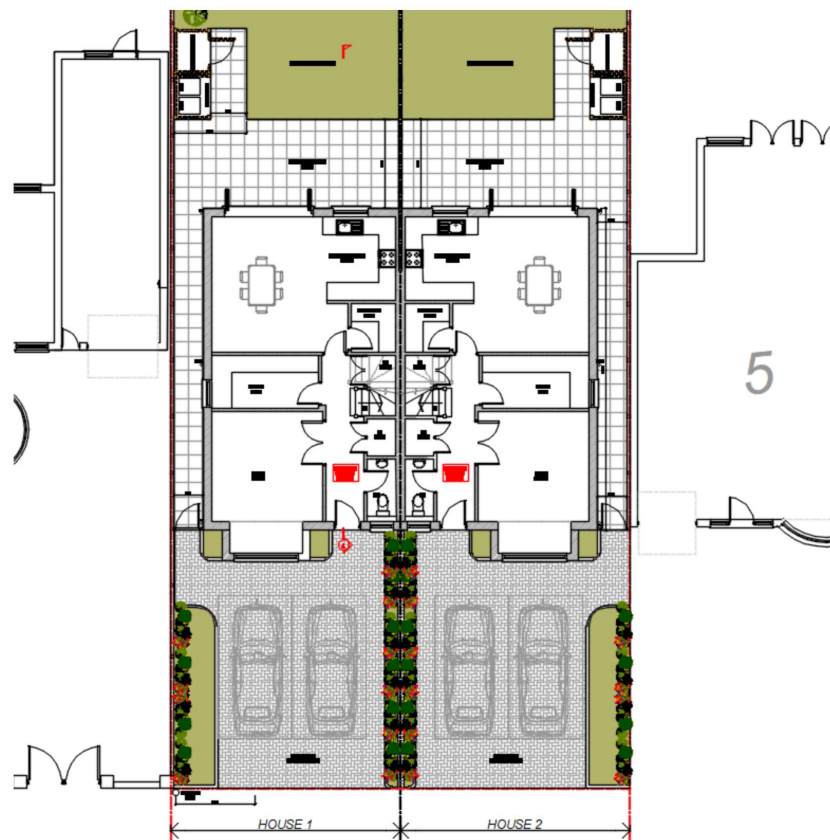


Figure 1 - Proposed Ground Floor plan