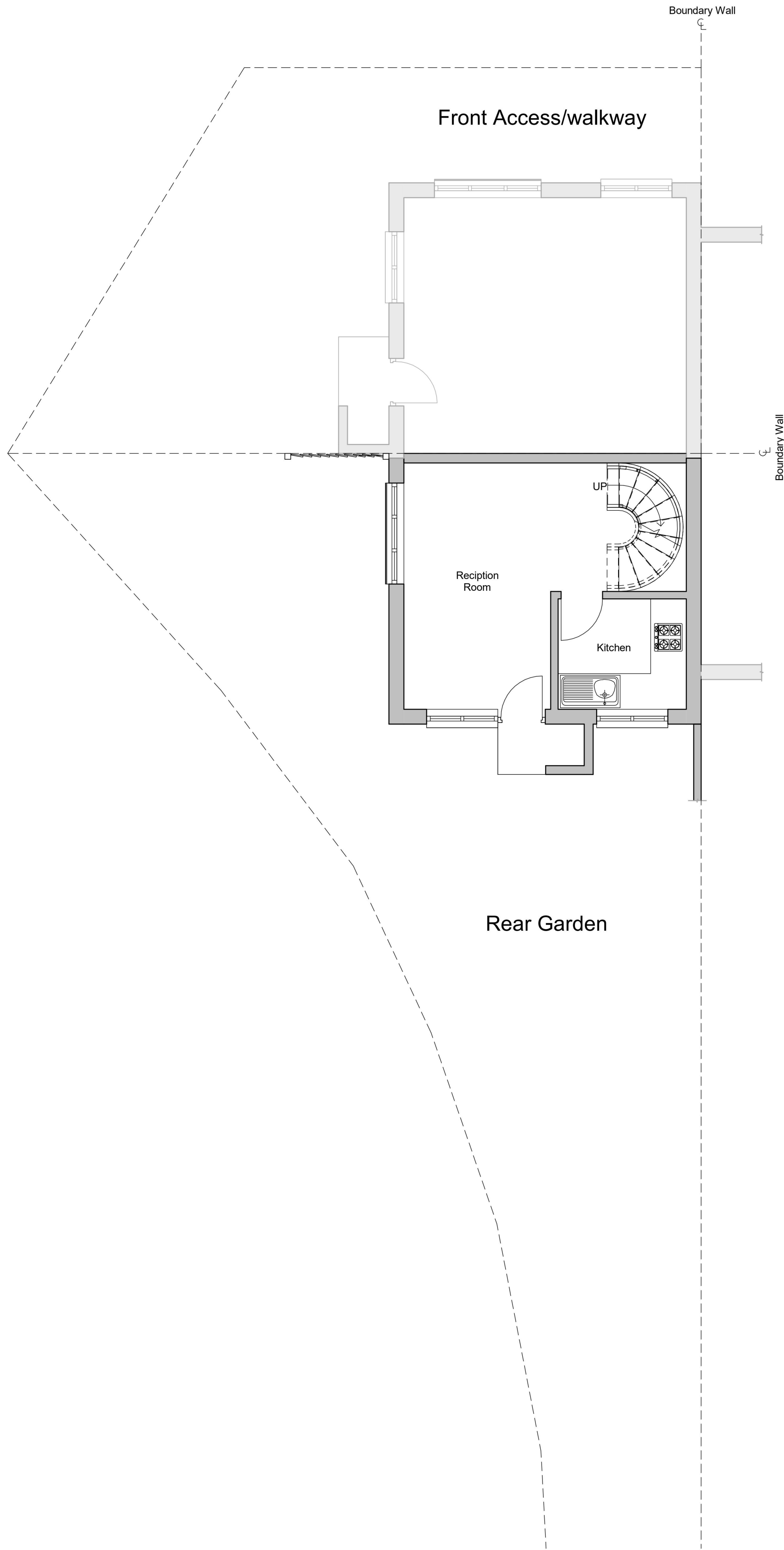
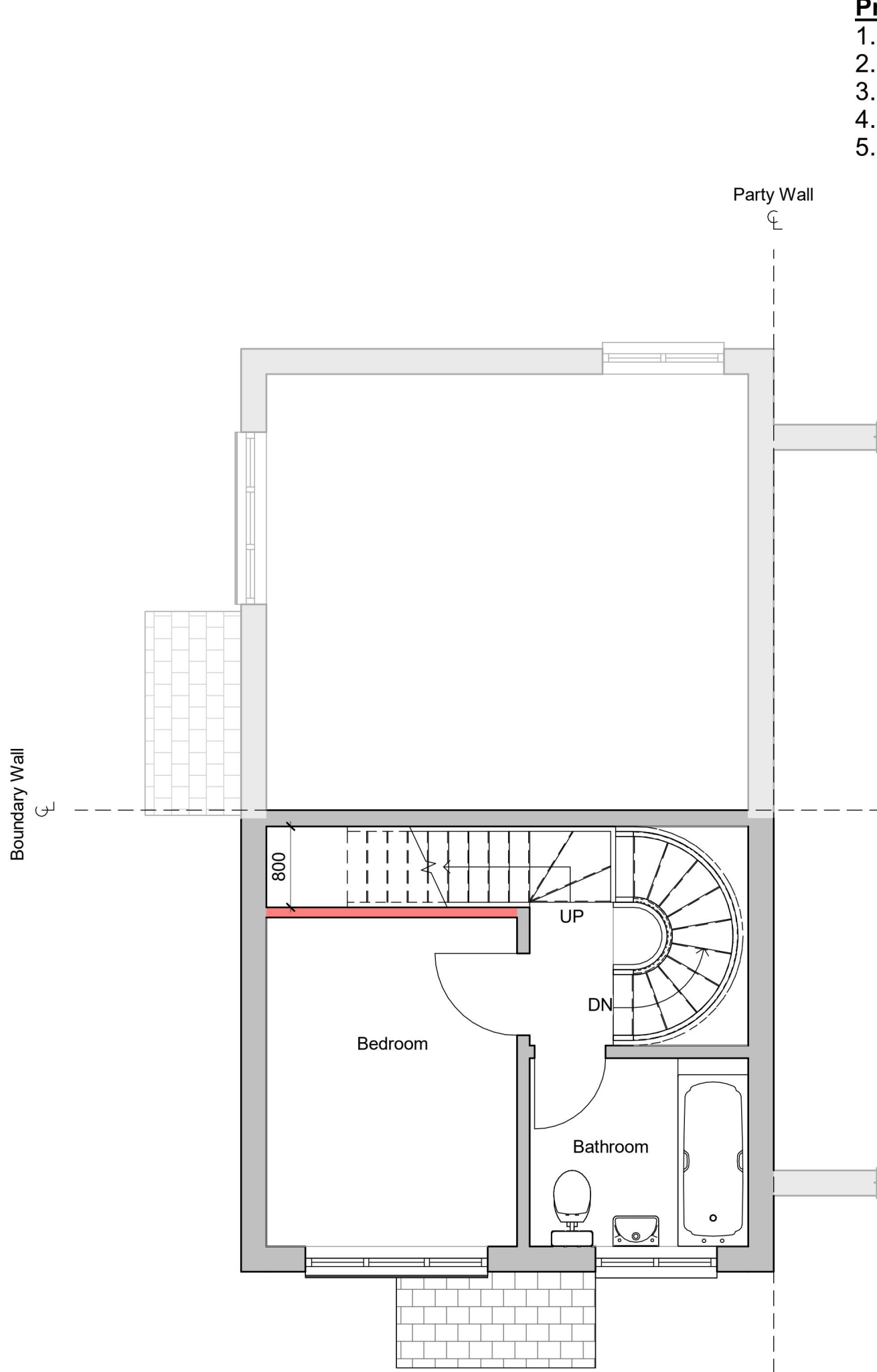
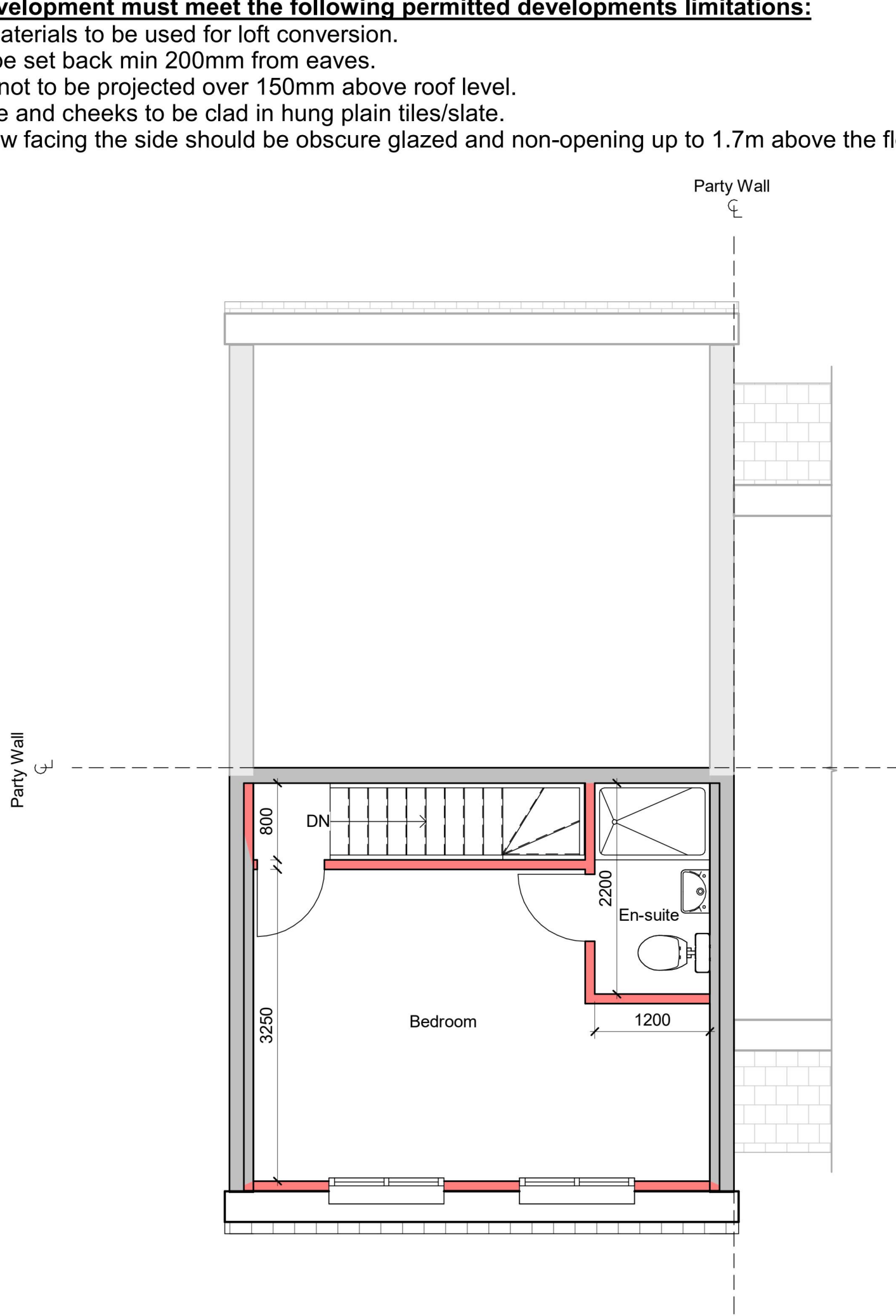




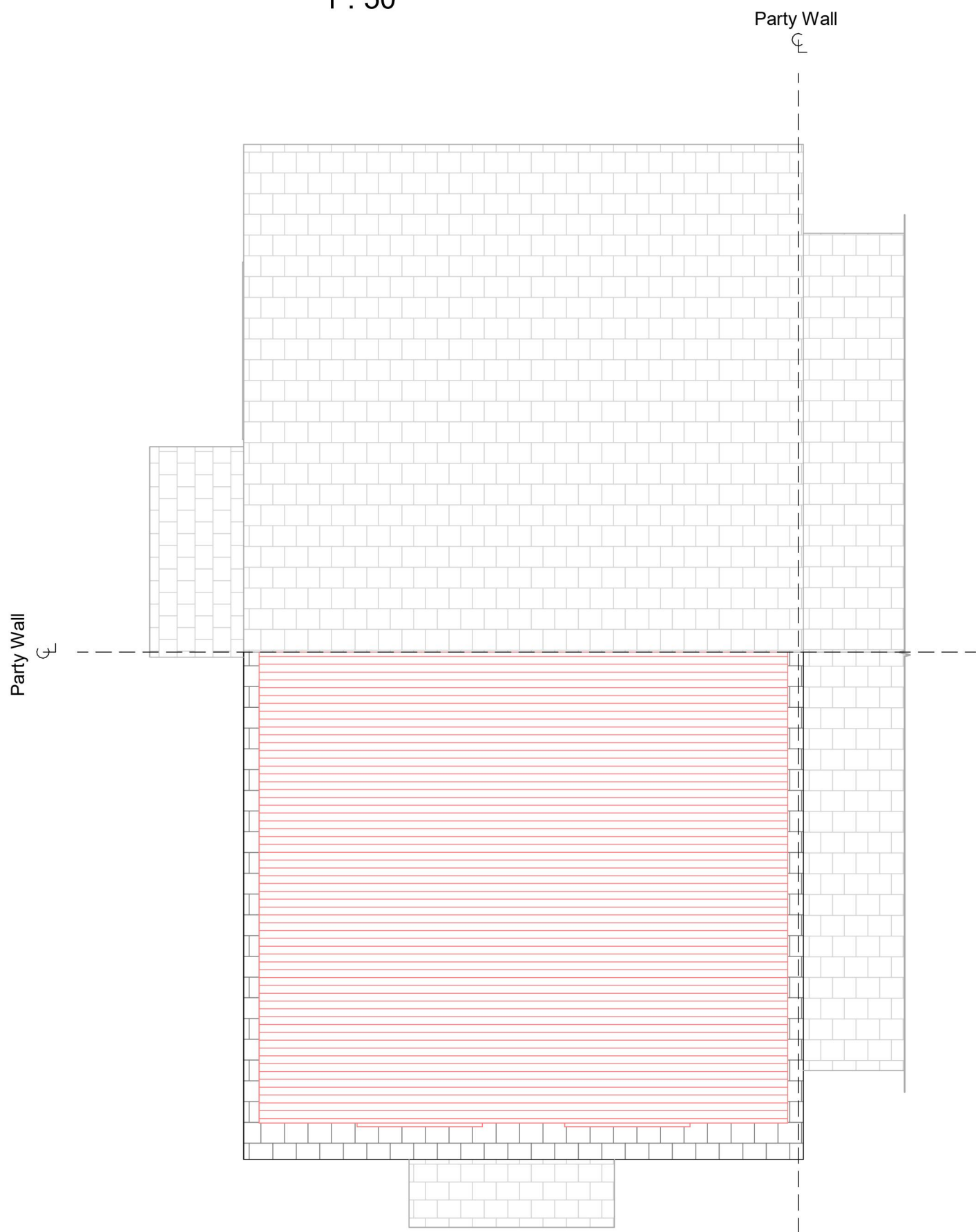
Proposed - G Floor
1 : 50



Proposed - 1st Floor
1 : 50



Proposed - 2nd Floor
1 : 50



Proposed - Roof
1 : 50

Proposed development must meet the following permitted developments limitations:

1. Matching materials to be used for loft conversion.
2. Dormer to be set back min 200mm from eaves.
3. Roof lights not to be projected over 150mm above roof level.
4. Dormer face and cheeks to be clad in hung plain tiles/slate.
5. New Window facing the side should be obscure glazed and non-opening up to 1.7m above the floor.

GENERAL NOTE:

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DRAWING NOTE:

- WHERE WORKS INVOLVE DEMOLITION TO ENSURE THAT ALL ELEMENTS OF THE BUILDING AND ADJOINING STRUCTURE ARE ACCOUNTED FOR AND THE ALL NECESSARY PROPPING AND TEMPORARY SUPPORTS ARE IN PLACE.
- REQUEST A COPY OF THE PARTY WALL AWARD WHERE WORK AFFECT PARTY WALL OR INVOLVE EXCAVATION S WITHIN 3 METRES OF ADJOINING PROPERTIES.
- ANY ALTERATIONS TO THESE DRAWINGS OR CHANGES EFFECT ON SITE DURING CONSTRUCTION COULD MATERIALLY AFFECT SIZES OF STRUCTURALLY MEMBERS THAT HAVE BEEN DESIGNED AND ADOPTED ON PLAN THE LATTER SHOULD BE BROUGHT TO THE NOTICE OF THE DESIGNER.
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VOLUME CALCULATION:

$0.5 \times 4.96 \times 4.41 \times 2.58 = 28.2\text{m}^2$
 $28.2\text{m}^2 < 40\text{m}^2$ COMPLIES WITH GENERAL PERMITTED DEVELOPMENT LIMITATIONS

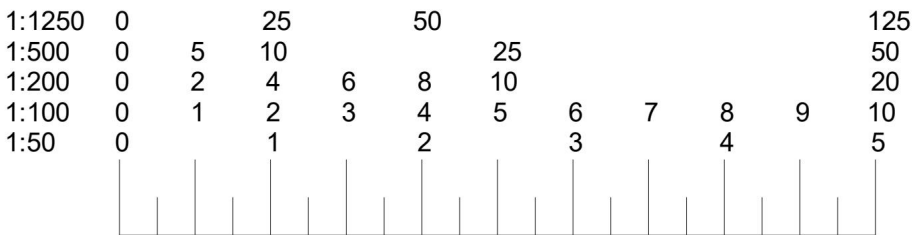
Rev	Description	Date
P1	Initial Issue	24/01/24



CLIENT		
Mr Opeyemi Bamidele		
PROJECT		
35 Appleby Drive, RM3 7SH		
TITLE		
Proposed Plans		
DRAWN BY	CHECKED BY	DATE
HS	-	24/01/2024
SCALE (@ A1)		PROJECT NUMBER
As indicated		M39
DRAWING NUMBER		REV
A103		P1

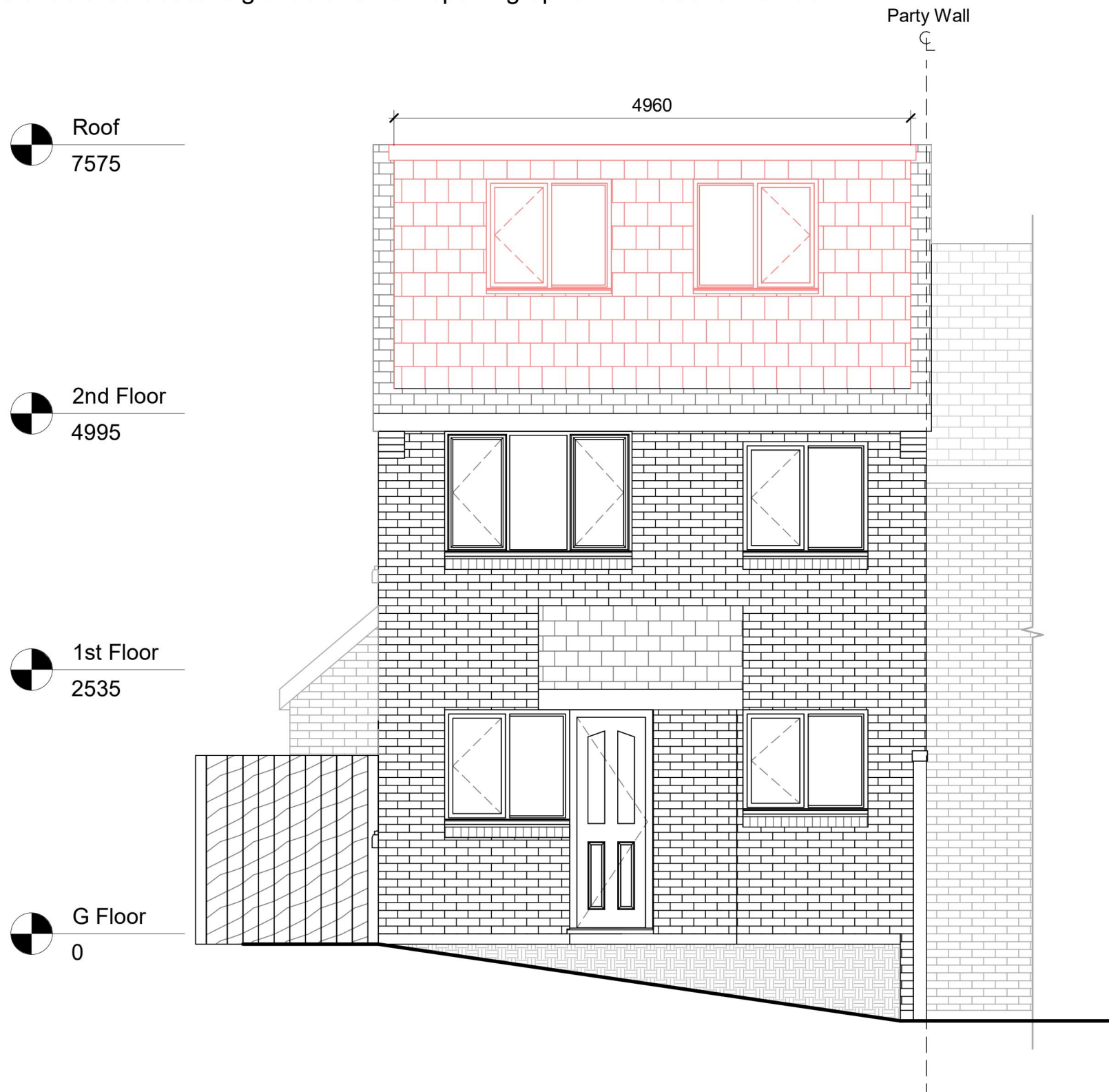


Site Photo
NTS

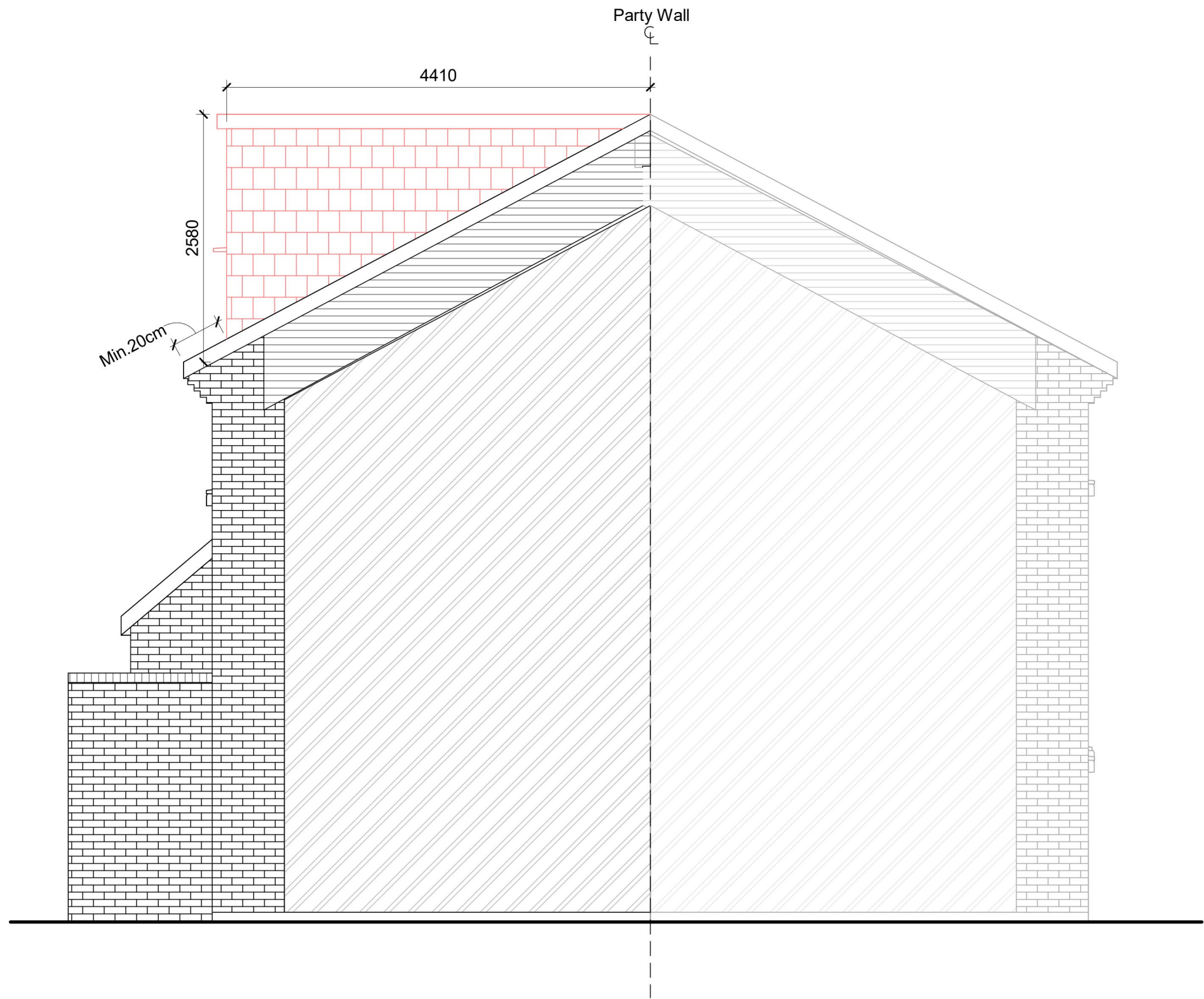


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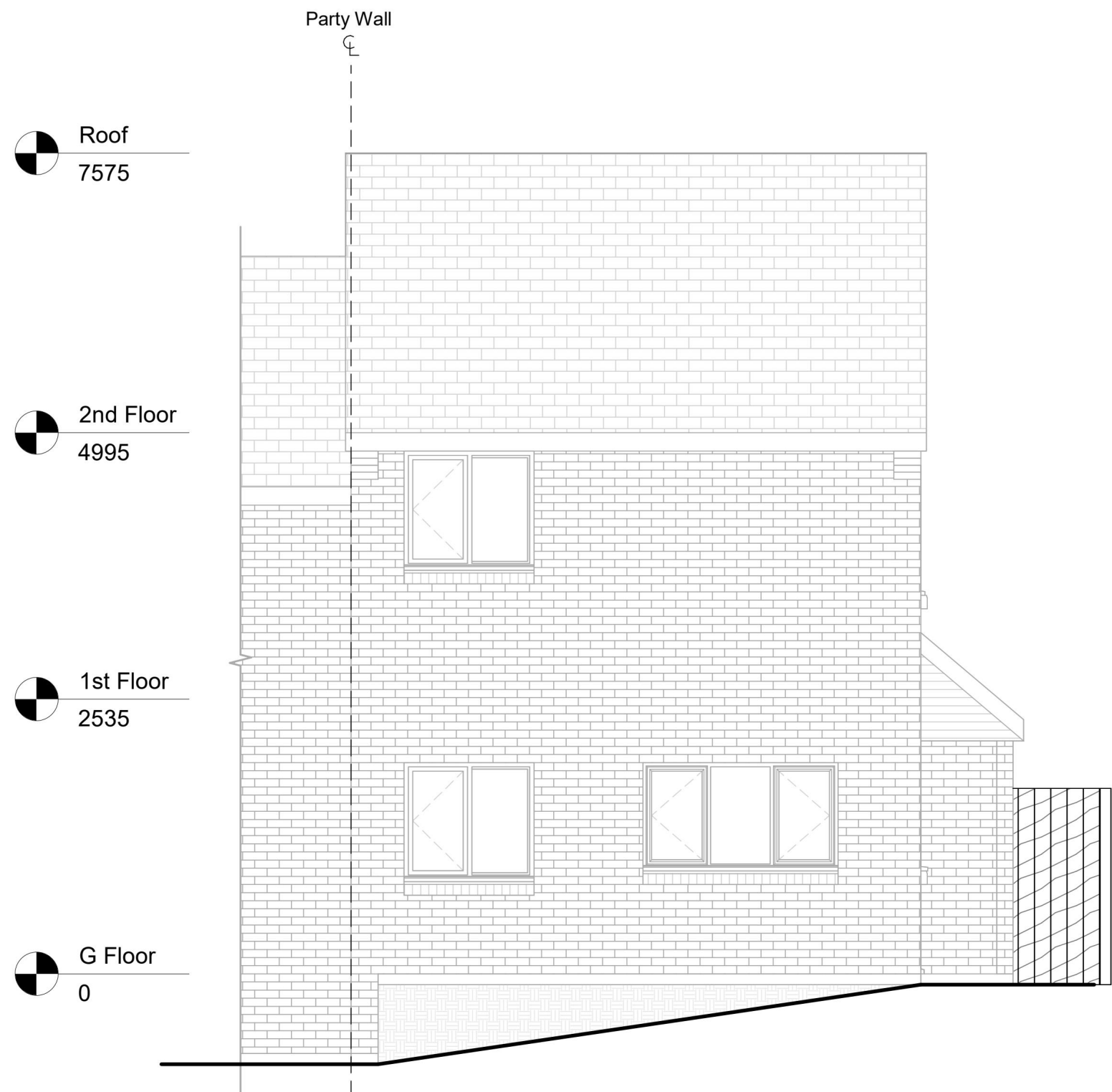
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Proposed- Rear Elevation
1 : 50



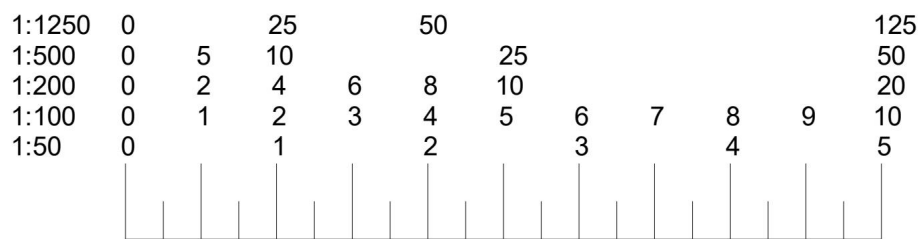
Proposed - Side R - Elevation
1 : 50



Proposed - Front Elevation
1 : 50



Proposed - Side L - Elevation
1 : 50



GENERAL NOTE:

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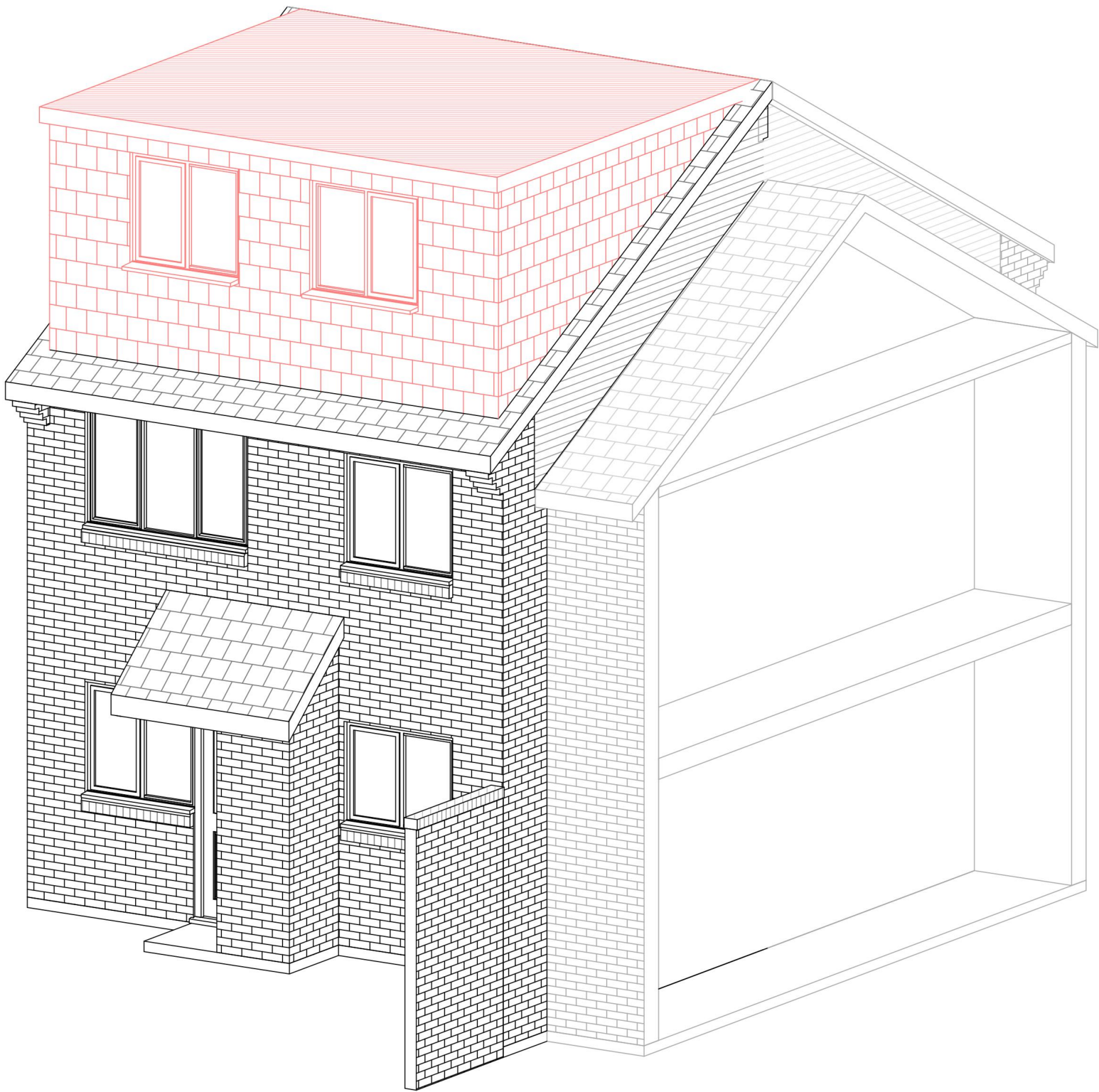
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28.2m² < 40m² COMPLIES WITH
GENERAL PERMITTED
DEVELOPMENT LIMITATIONS

Rev	Description	Date
P1	Initial Issue	24/01/24

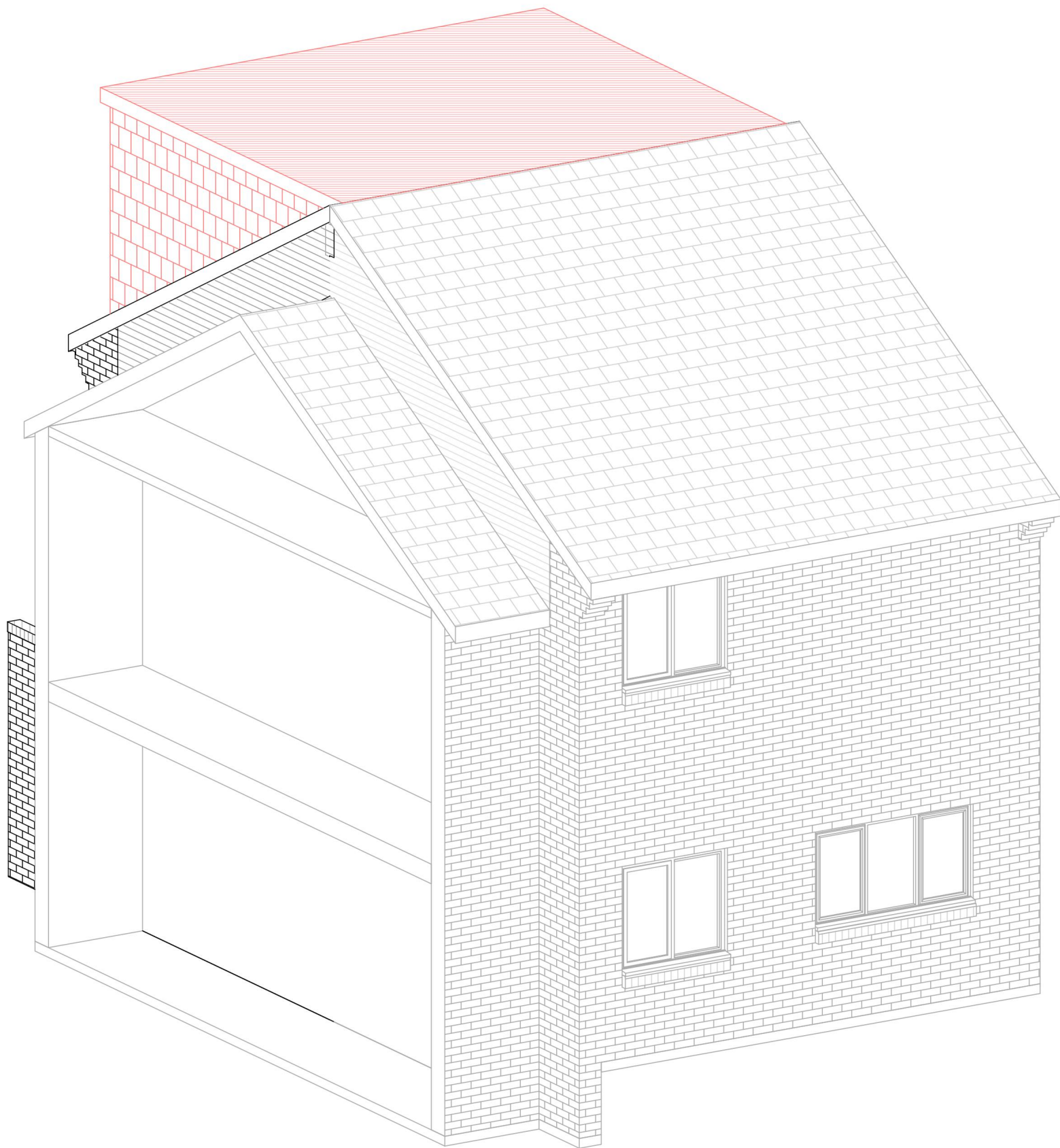
 www.archstruct.co.uk Email: info@archstruct.co.uk Mob: 07306 883 883		
CLIENT Mr Opeyemi Bamidele		
PROJECT 35 Appleby Drive, RM3 7SH		
TITLE Proposed Elevations		
DRAWN BY HS	CHECKED BY -	DATE 24/01/2024
SCALE (@ A1) As indicated		PROJECT NUMBER M39
DRAWING NUMBER A104		REV P1

Proposed development must meet the following permitted developments limitations:

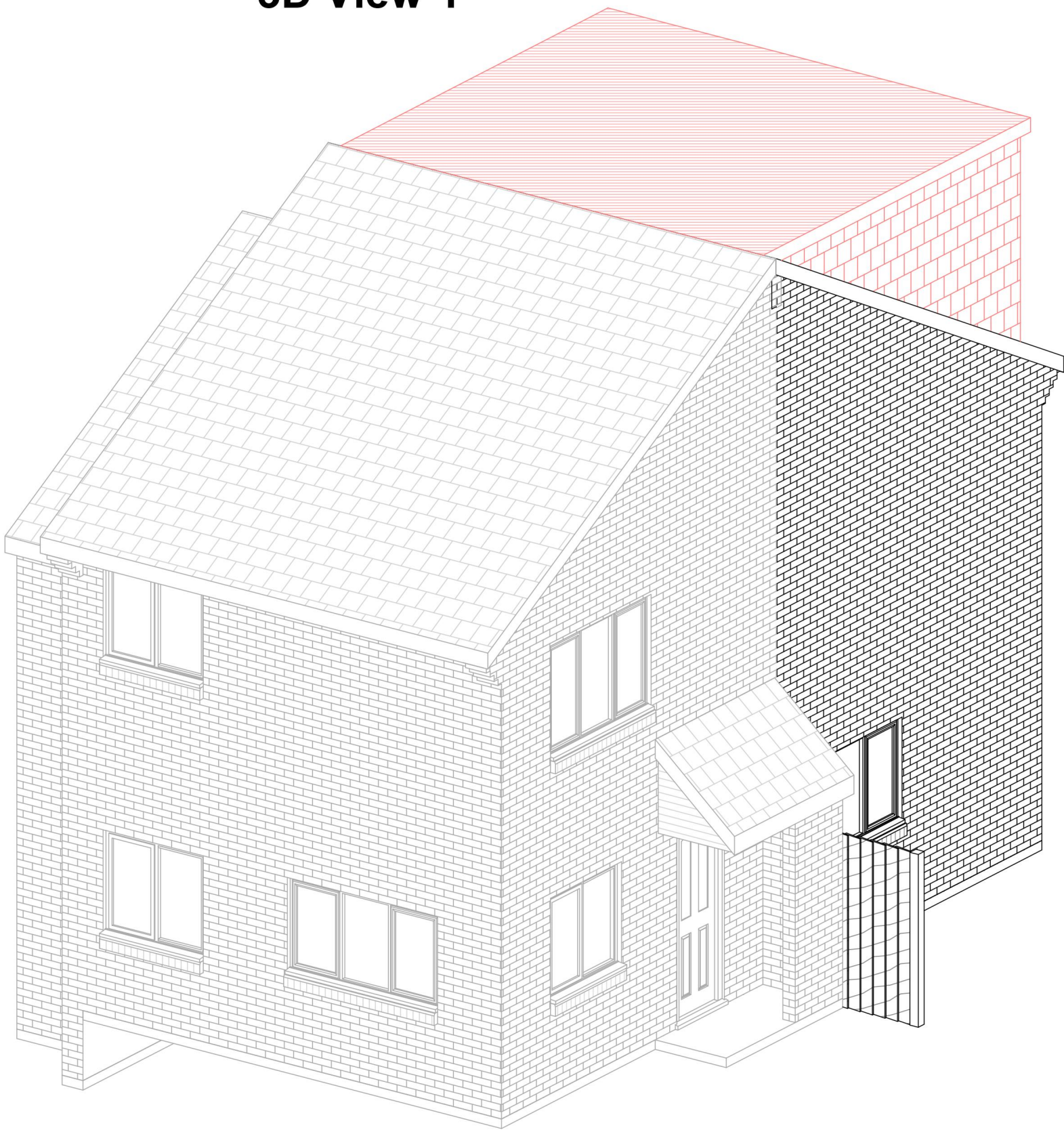
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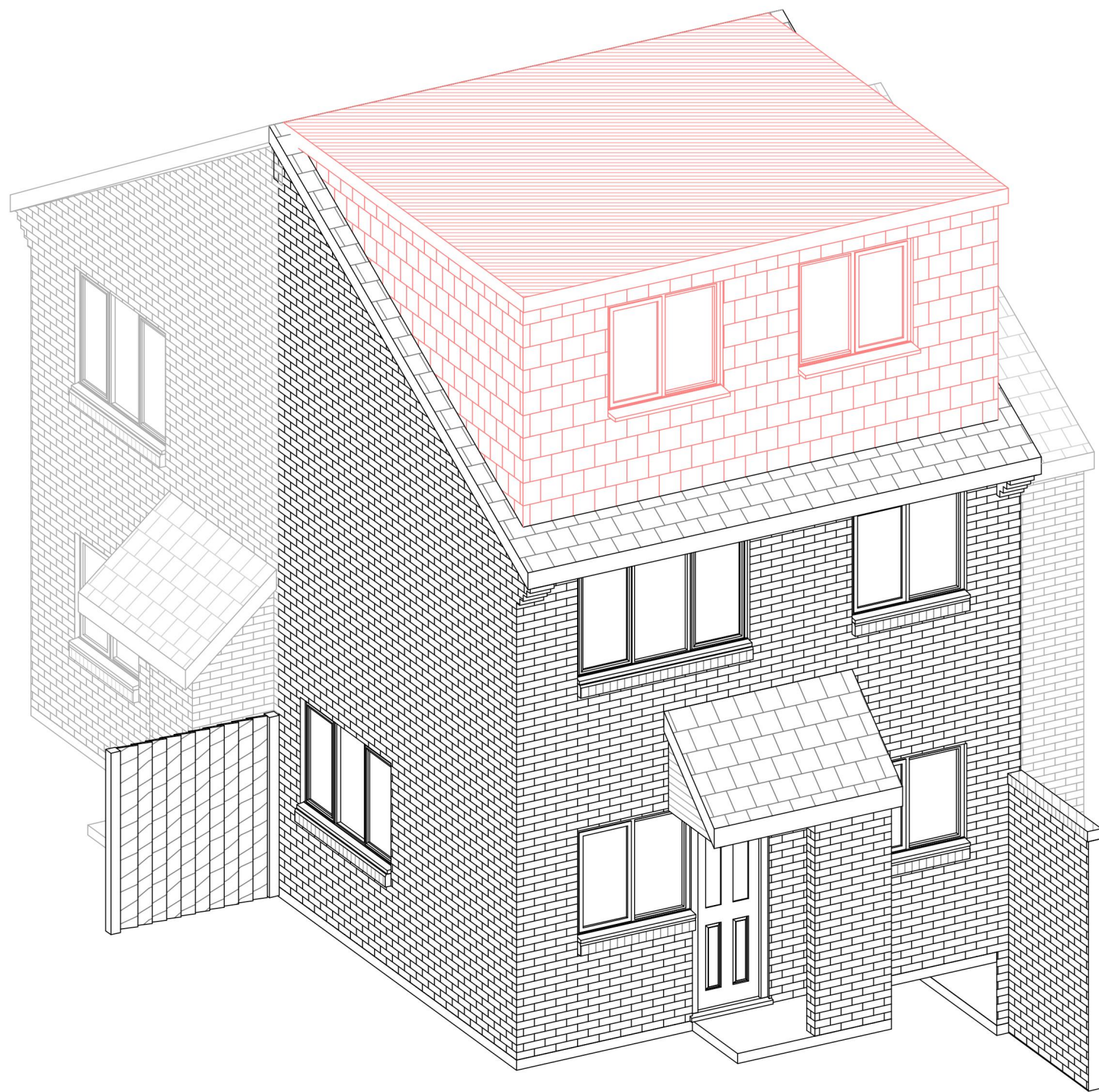
3D View 1



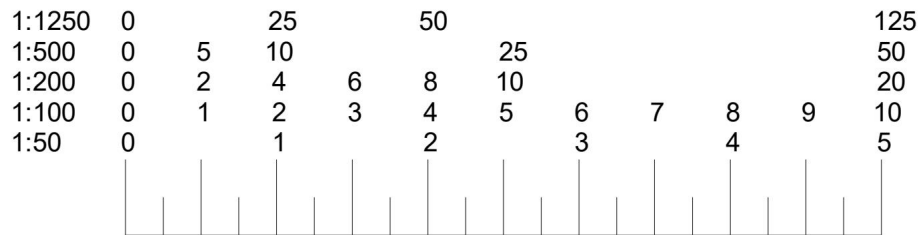
3D View 2



3D View 3



3D View 4



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Rev	Description	Date
P1	Initial Issue	24/01/24

 www.archstruct.co.uk Email: info@archstruct.co.uk Mob: 07306 883 883		
CLIENT Mr Opeyemi Bamidele		
PROJECT 35 Appleby Drive, RM3 7SH		
TITLE Proposed 3D Views		
DRAWN BY HS	CHECKED BY -	DATE 24/01/2024
SCALE (@ A1) 1 : 1		PROJECT NUMBER M39
DRAWING NUMBER A105		REV P1