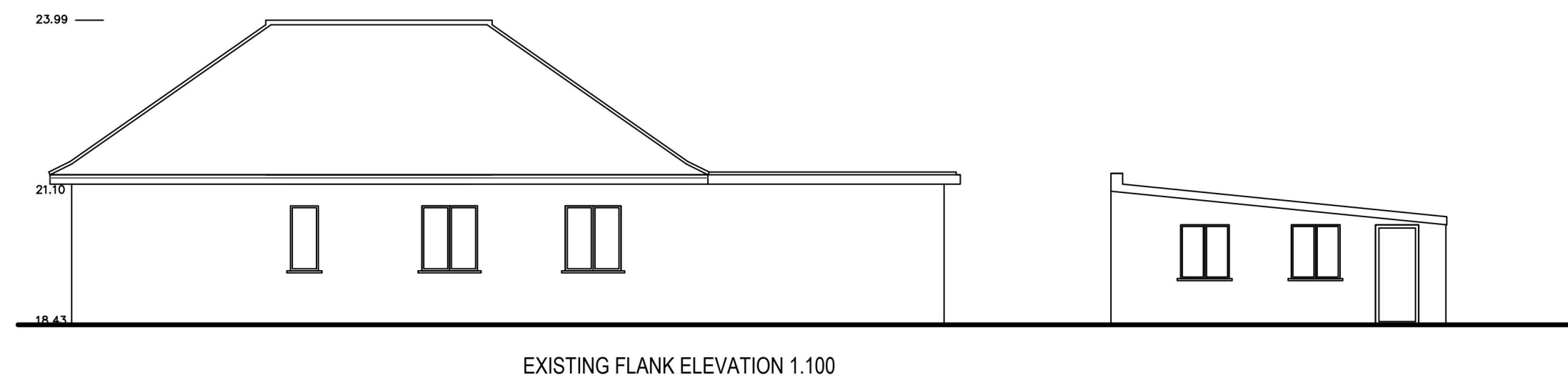
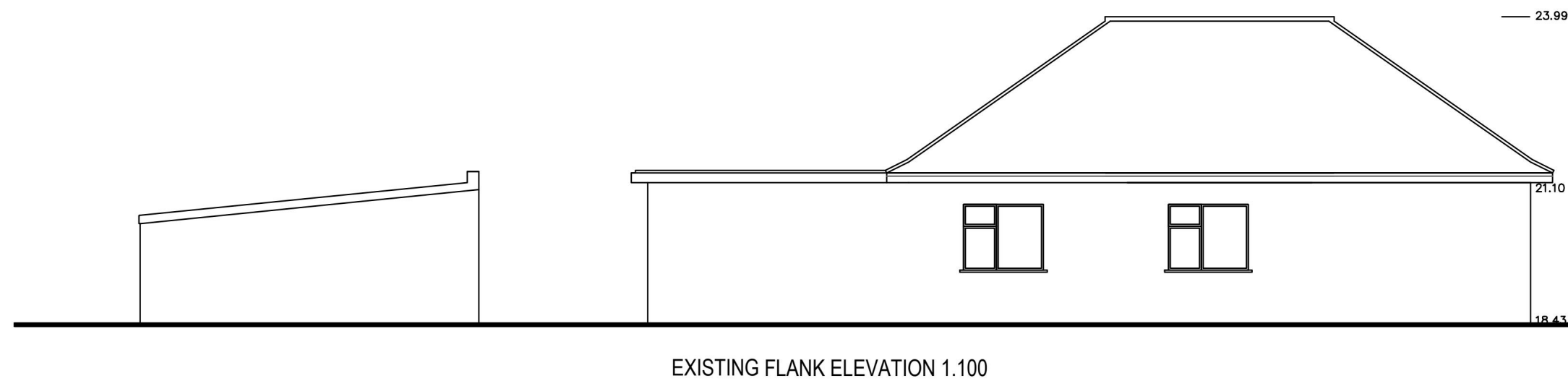
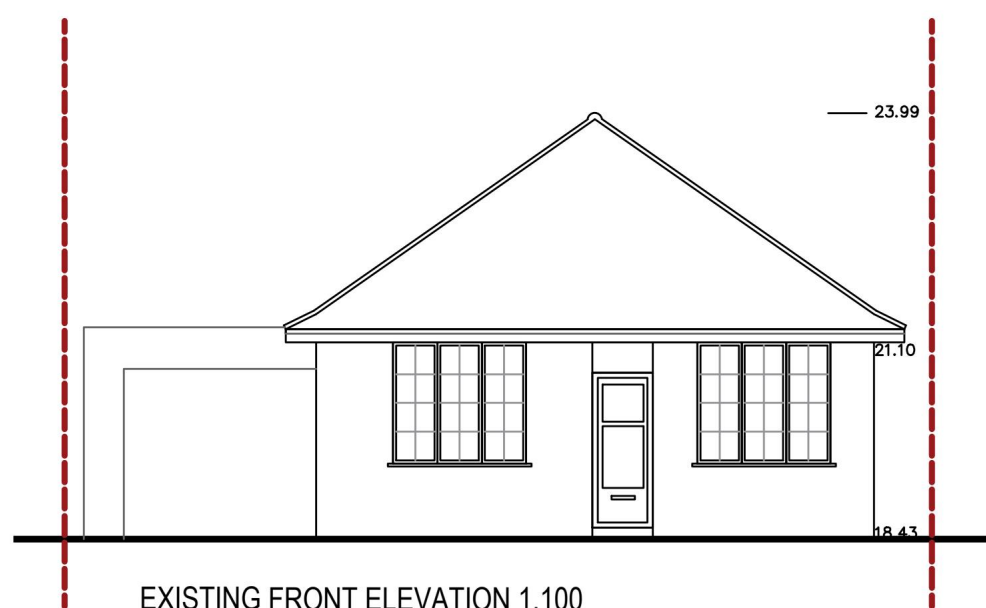




This drawing and the information provided is the property of Spaces Architecture Ltd © and shall not be copied whole, in part, or used for any other purpose without written permission from the company.

This drawing must be read and checked against all other standard specifications and any structural drawings provided. This includes approved planning drawings. Any discrepancies are to be notified to Spaces Architecture Ltd immediately prior to works progressing.

Principal/Contractor(s) to ensure all materials and workmanship complies with Regulation 7 of the Building Regulations whether or not specifically stated on these drawings. It is the Principal/Contractors(s) duty to ensure all works on site are approved by an appointed Building Control body.

Principal/Contractor(s) to ensure dimensions are taken on site before procurement of any materials/ works proceeding. Structural members are not to be ordered scaling from this drawing.

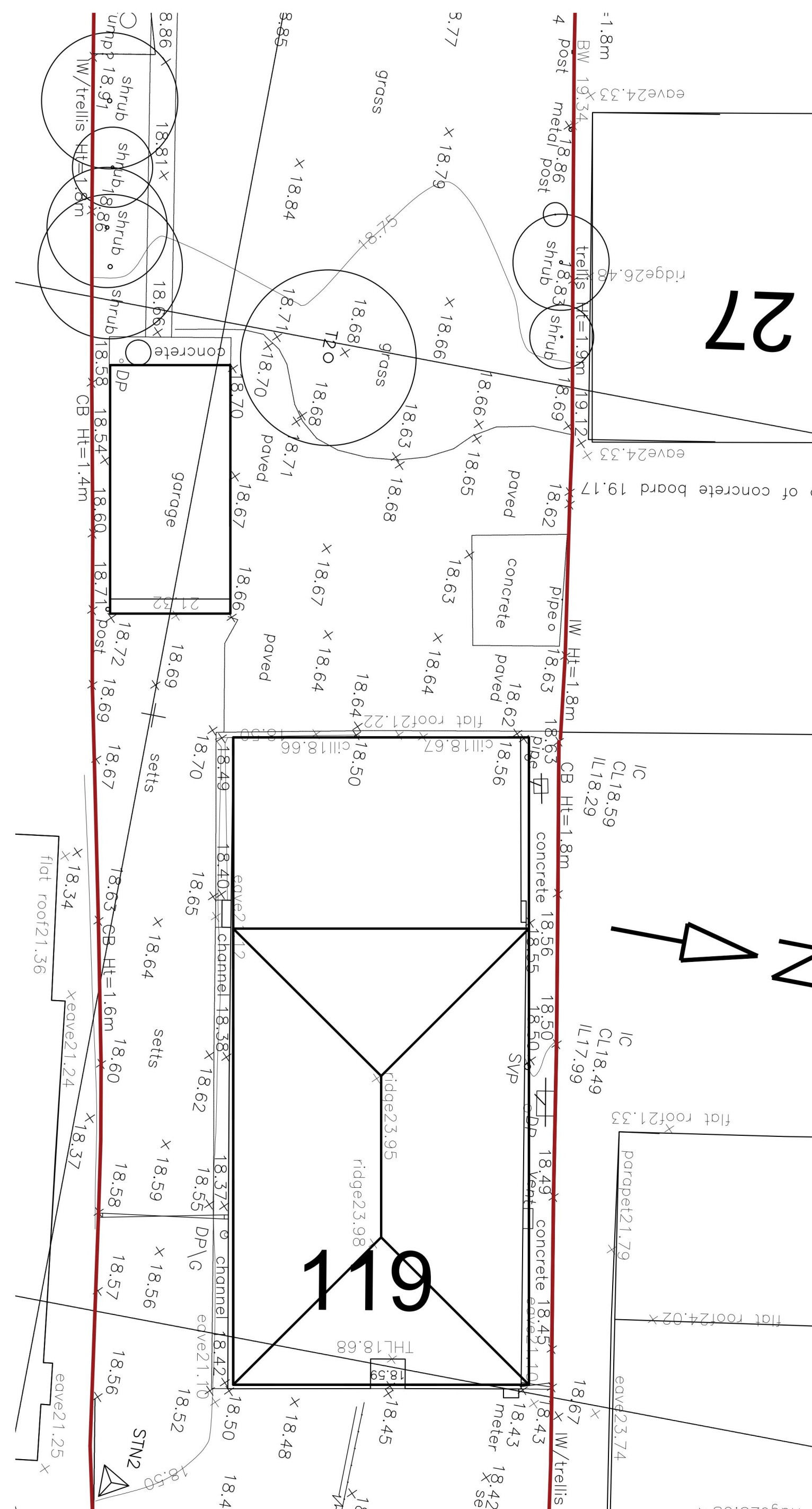
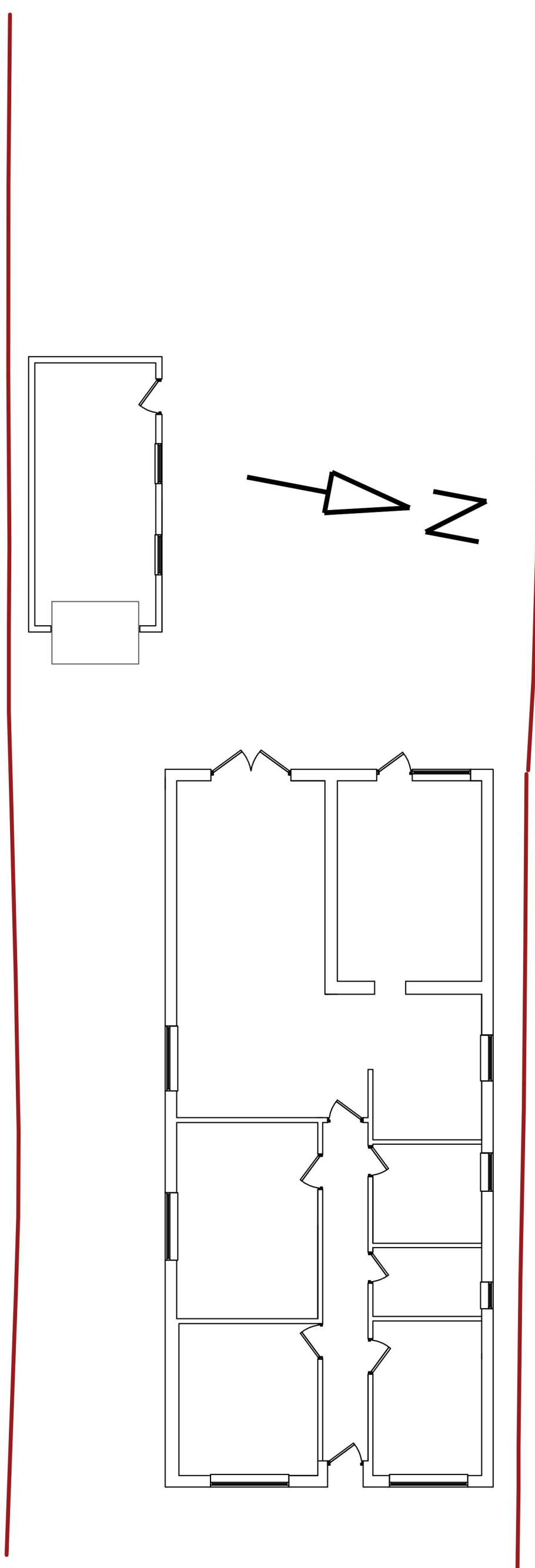
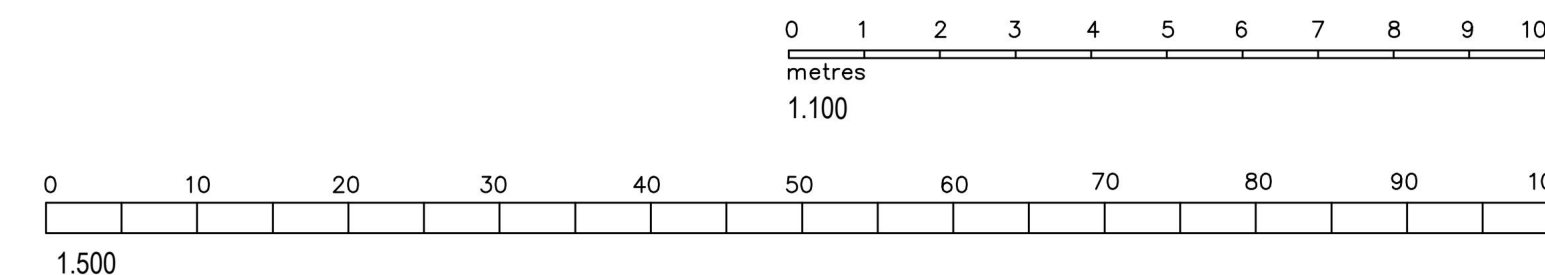
It is the duty of the Principal/Contractor(s) to ensure all relevant British Standards, European Standards, Agreement Certificates, Product Certification of Schemes etc. Products conforming to a European technical standard or harmonised European product should have a CE marking.

Principal/Contractor(s)/Client to ensure full compliance with the amended CDM Regulations (2015) if the project requires.

This drawing unless noted does not represent compliance with the Party wall act 1996. If required all agreements are to be in place before works commence.

It is the Client & Principal/Contractor(s) responsibility to ensure Planning / Building control approvals are in place prior to works commencing. Works started prior to relevant approvals are at the Client/Contractors own risk.

Do not scale from this drawing except from purpose of local authority planning department.



Spaces Architecture, 120a North Street, Hornchurch, RM111SU
Tel: 01708 452847 Email: info@spacesarchitecture.co.uk
www.spacesarchitecture.co.uk

Client: Mr S Ottey

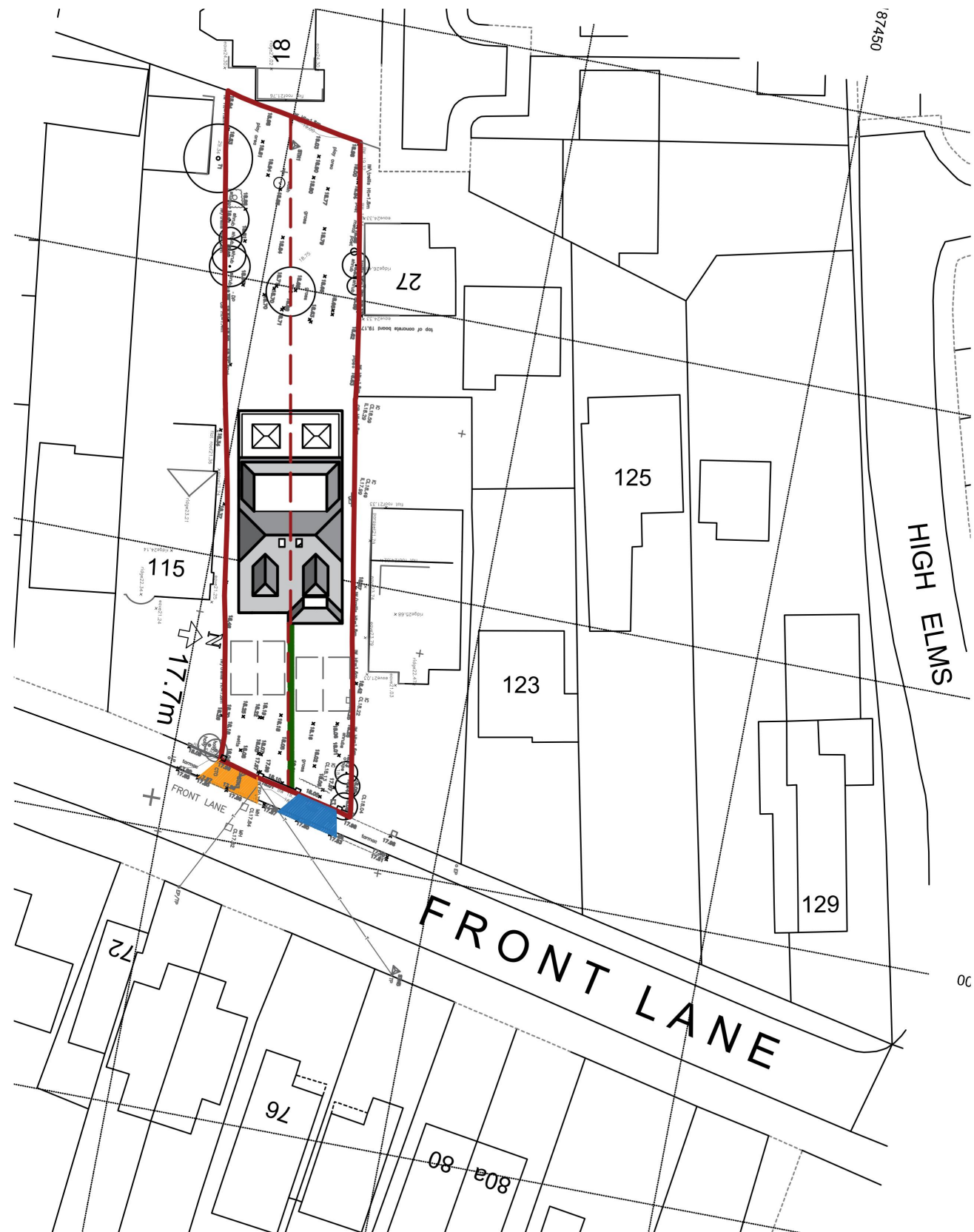
Project Address:
119 Front Lane, Upminster, Essex

Drawing Title: Existing plans

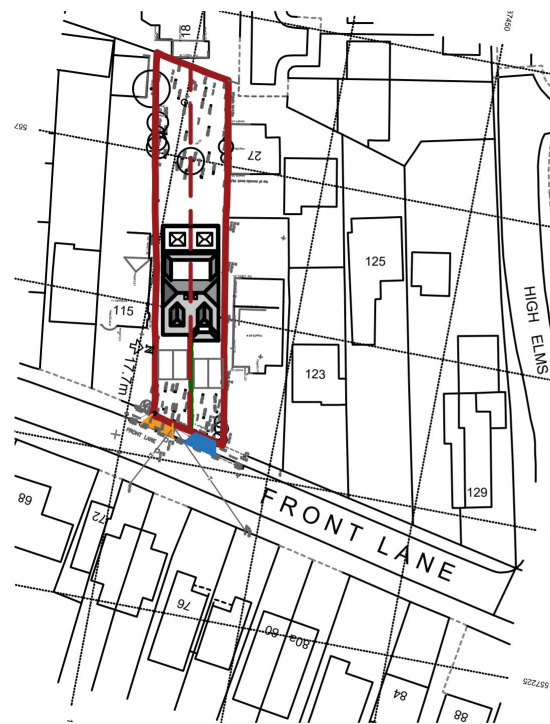
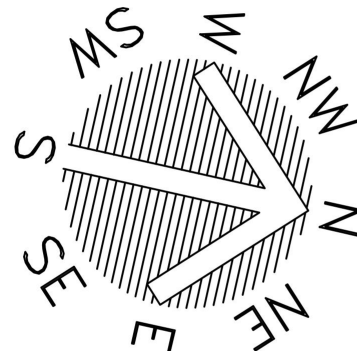
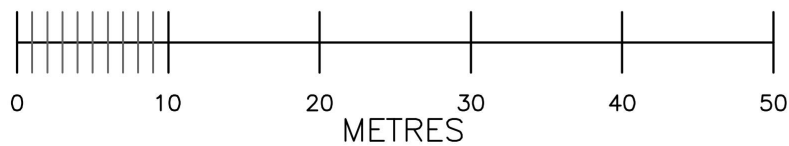
Scale:	Noted @ A1	Date:	NOV 22	Drawn:	Mj
--------	------------	-------	--------	--------	----

Drawing no:	2234-1A	Rev:
-------------	---------	------

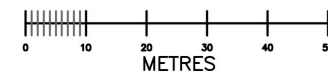
Drawing issue: **PLANNING ISSUE**



1 . 5 0 0



1 . 1 2 5 0



This drawing and the information provided is the property of Spaces Architecture Ltd © and shall not be copied whole, in part, or used for any other purpose without written permission from the company. For all terms and conditions please visit www.spacesarchitecture.co.uk

This drawing must be read and checked against all other standard specifications and any structural drawings provided. Any discrepancies are to be notified to Spaces Architecture immediately prior to works progressing

Principal/Contractor(s) to ensure all materials and workmanship complies with Regulation 7 of the Building Regulations whether or not specifically stated on these drawings. It is the Principal/Contractors(s) duty to ensure all works on site are approved by an appointed Building Control body

Principal/Contractor(s) to ensure dimensions are taken on site before procurement of any materials/ works proceeding. Structural members are not to be ordered scaling from this drawing

It is the duty of the Principal/Contractor(s) to ensure all relevant British Standards, European Standards, Agreement Certificates, Product Certification of Schemes etc. Products conforming to a European technical standard or harmonised European product should have a CE marking.

Principal/Contractor(s)/Client to ensure full compliance with the amended CDM Regulations (2015) if the project requires.

This drawing unless noted does not represent compliance with the Party wall act 1996. If required all agreements are to be in place before works commence

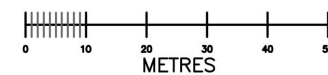
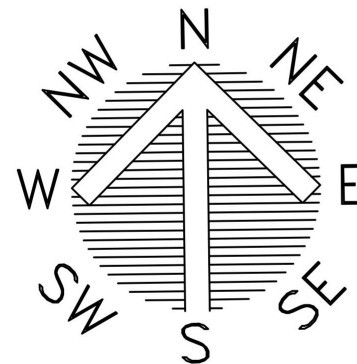
THIS SITE PLAN HAS BEEN GENERATED BY CURRENT OS MAPPING



SPACES ARCHITECTURE
120A NORTH STREET
HORNCHURCH
ESSEX
RM11 1SU

t: 01708 452847
w: www.spacesarchitecture.co.uk

Client	C/o Spaces Architecture Ltd		
Address	119 Front Lane Upminster Essex RM14 1XN		
Job title	Block & Site plans		
Drg title	Block plan & Site plan 1.500 & 1.1250		
REV (A)			
REV (B)	N/A		
REV (C)	N/A		
Dwg No	2234—3	Size	A3
Dated	NOV 22	Scale	NOTED
Dwg by		OS by	OS by



Client	C/o Spaces Architecture Ltd		
Address	119 Front Lane Upminster Essex RM14 1XN		
Job title	Block & Site plans		
Drg title	Block plan & Site plan 1.500 & 1.1250		
REV (A)			
REV (B)	N/A		
REV (C)	N/A		
Dwg No	2234-8	Size	A3
Dated	JAN 23	Scale	NOTED
Dwg by		OS by	OS by

This drawing and the information provided is the property of Spaces Architecture Ltd © and shall not be copied whole, in part, or used for any other purpose without written permission from the company.

This drawing must be read and checked against all other standard specifications and any structural drawings provided. This includes approved planning drawings. Any discrepancies are to be notified to Spaces Architecture Ltd immediately prior to works progressing.

Principal/Contractor(s) to ensure all materials and workmanship complies with Regulation 7 of the Building Regulations whether or not specifically stated on these drawings. It is the Principal/Contractors(s) duty to ensure all works on site are approved by an appointed Building Control body.

Principal/Contractor(s) to ensure dimensions are taken on site before procurement of any materials/ works proceeding. Structural members are not to be ordered scaling from this drawing.

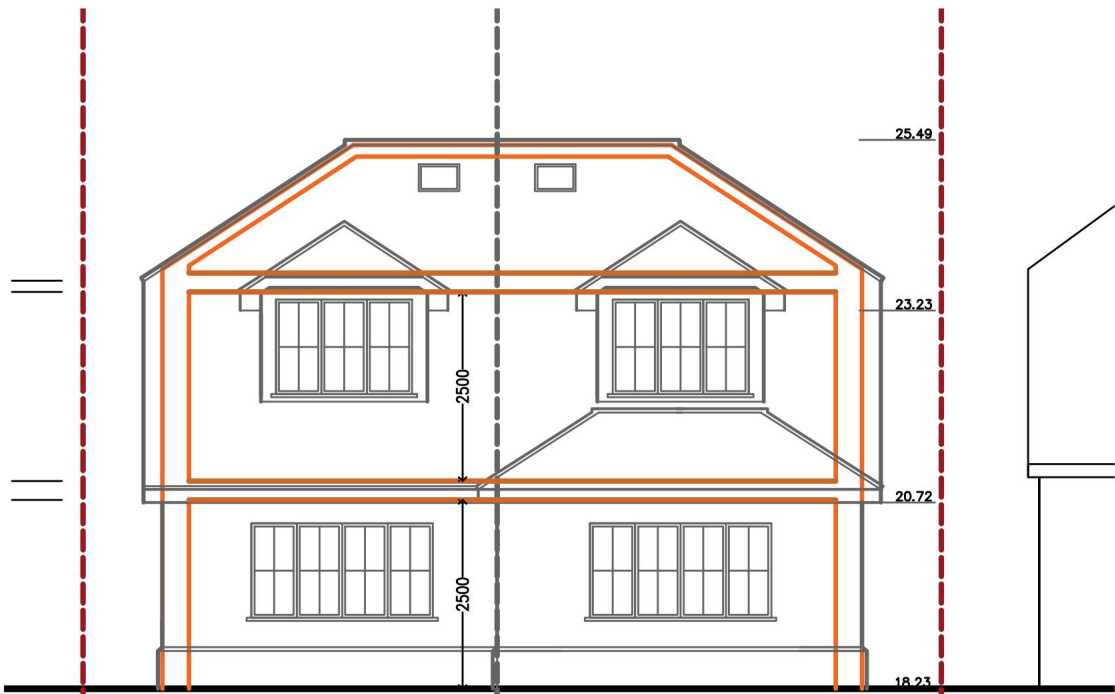
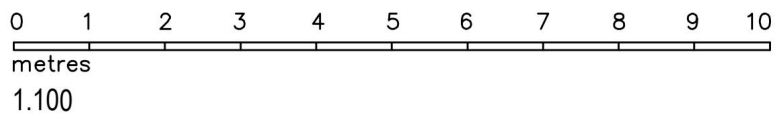
It is the duty of the Principal/Contractor(s) to ensure all relevant British Standards, European Standards, Agreement Certificates, Product Certification of Schemes etc. Products conforming to a European technical standard or harmonised European product should have a CE marking.

Principal/Contractor(s)/Client to ensure full compliance with the amended CDM Regulations (2015) if the project requires.

This drawing unless noted does not represent compliance with the Party wall act 1996. If required all agreements are to be in place before works commence.

It is the Client & Principal/Contractor(s) responsibility to ensure Planning / Building control approvals are in place prior to works commencing. Works started prior to relevant approvals are at the Client/Contractors own risk.

Do not scale from this drawing except from purpose of local authority planning department.



PROPOSED FRONT SECTION 1.100

Spaces Architecture, 120a North Street, Hornchurch, RM111SU
Tel: 01708 452847 Email: info@spacesarchitecture.co.uk
www.spacesarchitecture.co.uk

Client: Mr S Ottey

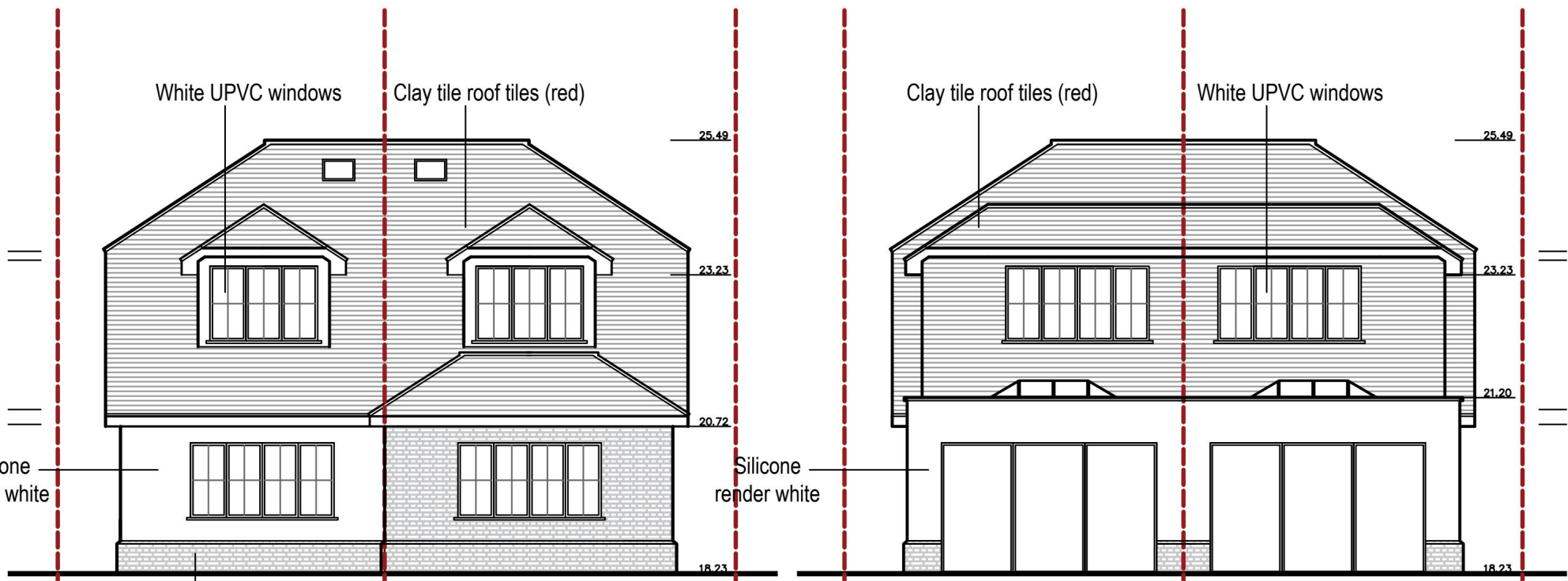
Project Address: 119 Front Lane, Upminster, Essex

Drawing Title: Proposed plans

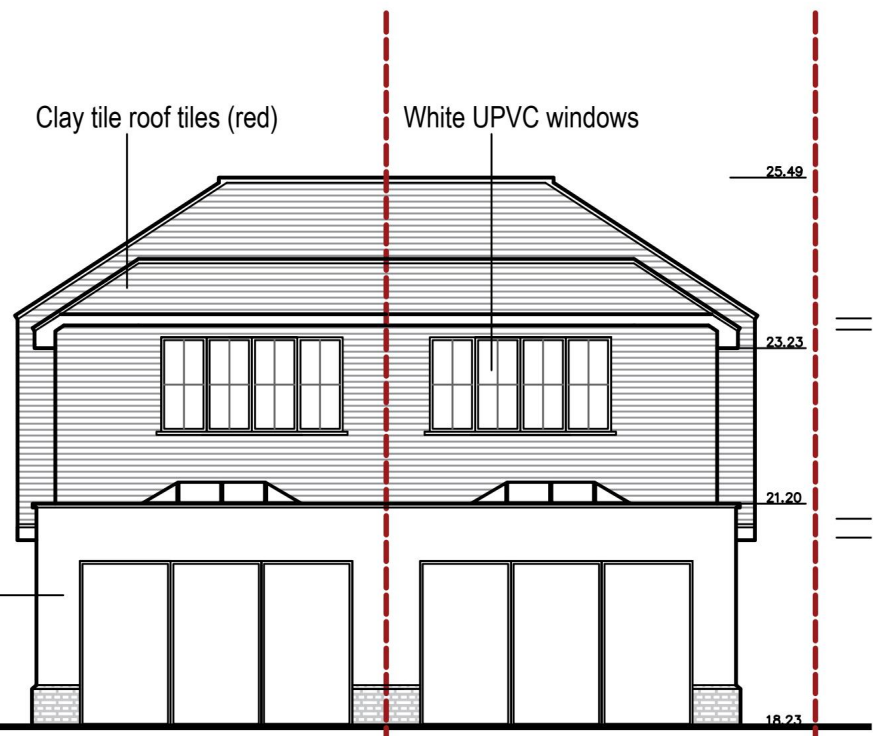
Scale: Noted @ A1 Date: NOV 22 Drawn: Mj

Drawing no: 2234-2 Rev:

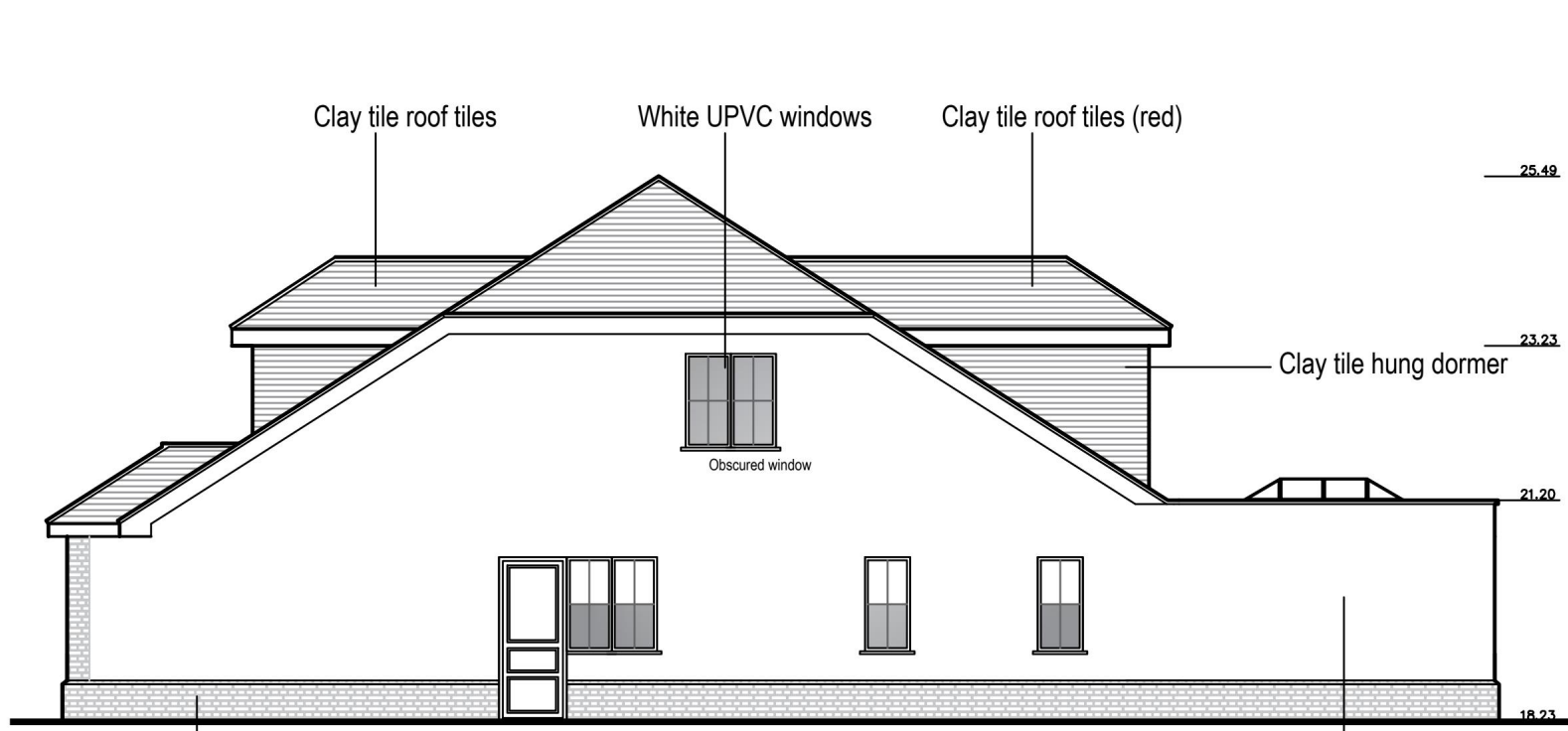
Drawing issue: PLANNING ISSUE



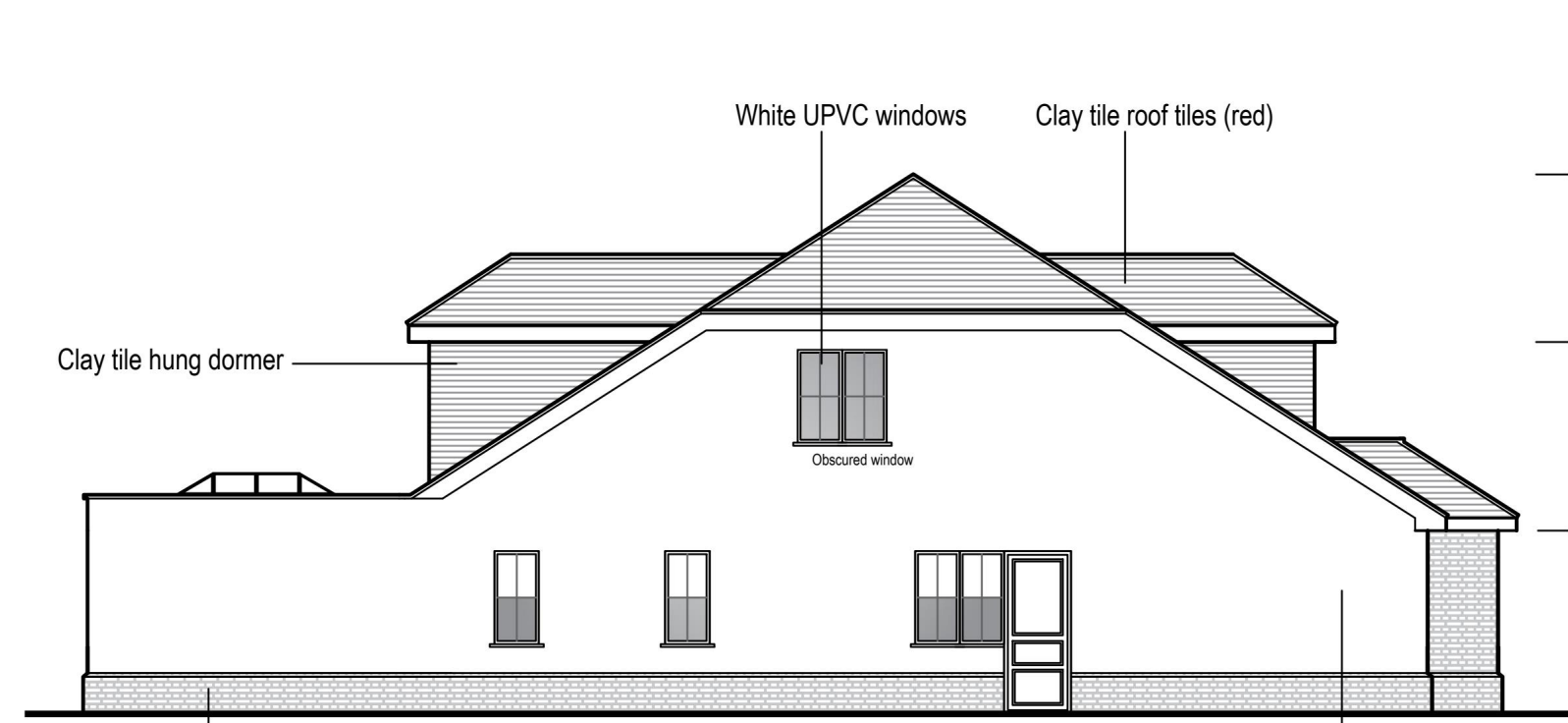
PROPOSED FRONT ELEVATION 1.100



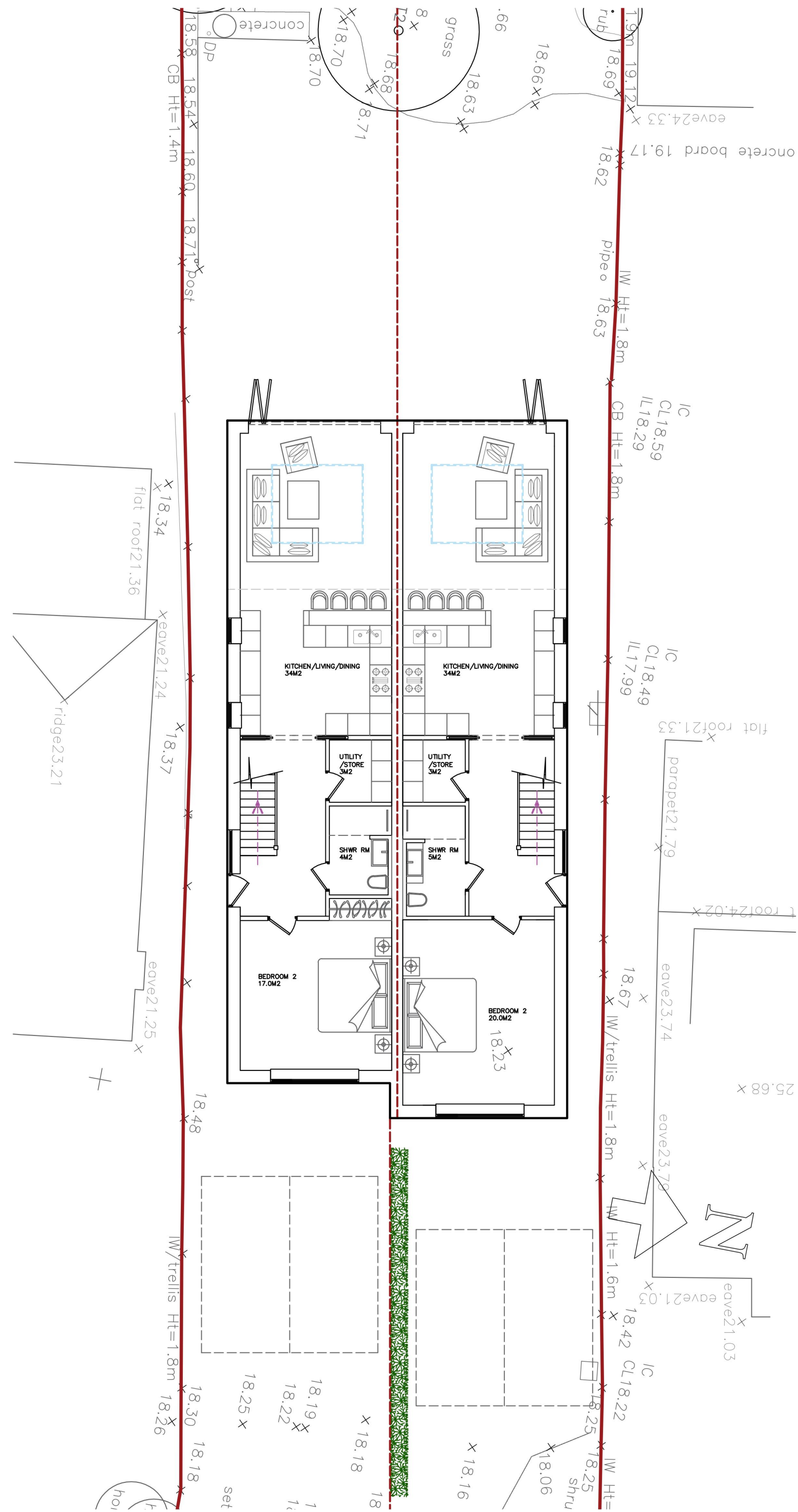
PROPOSED REAR ELEVATION 1.100



PROPOSED FLANK ELEVATION 1.100

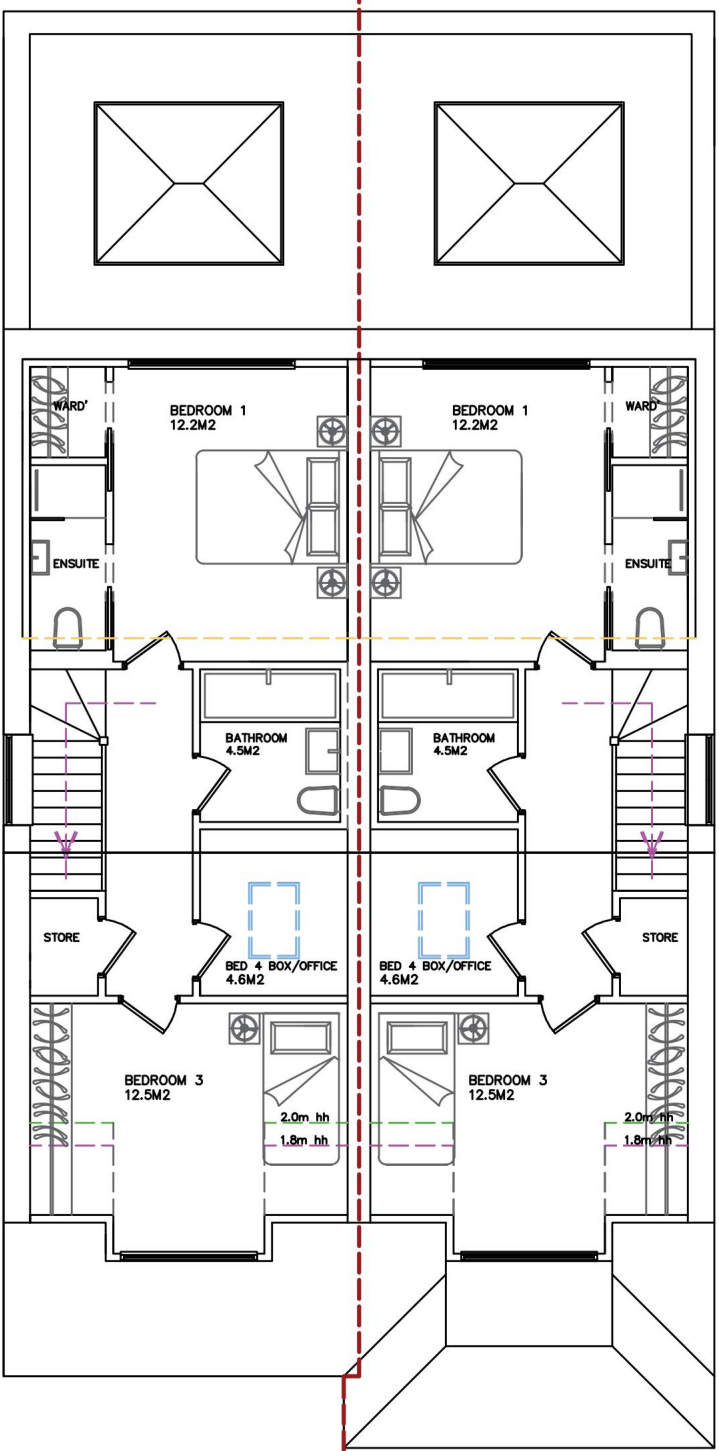


PROPOSED FLANK ELEVATION 1.100



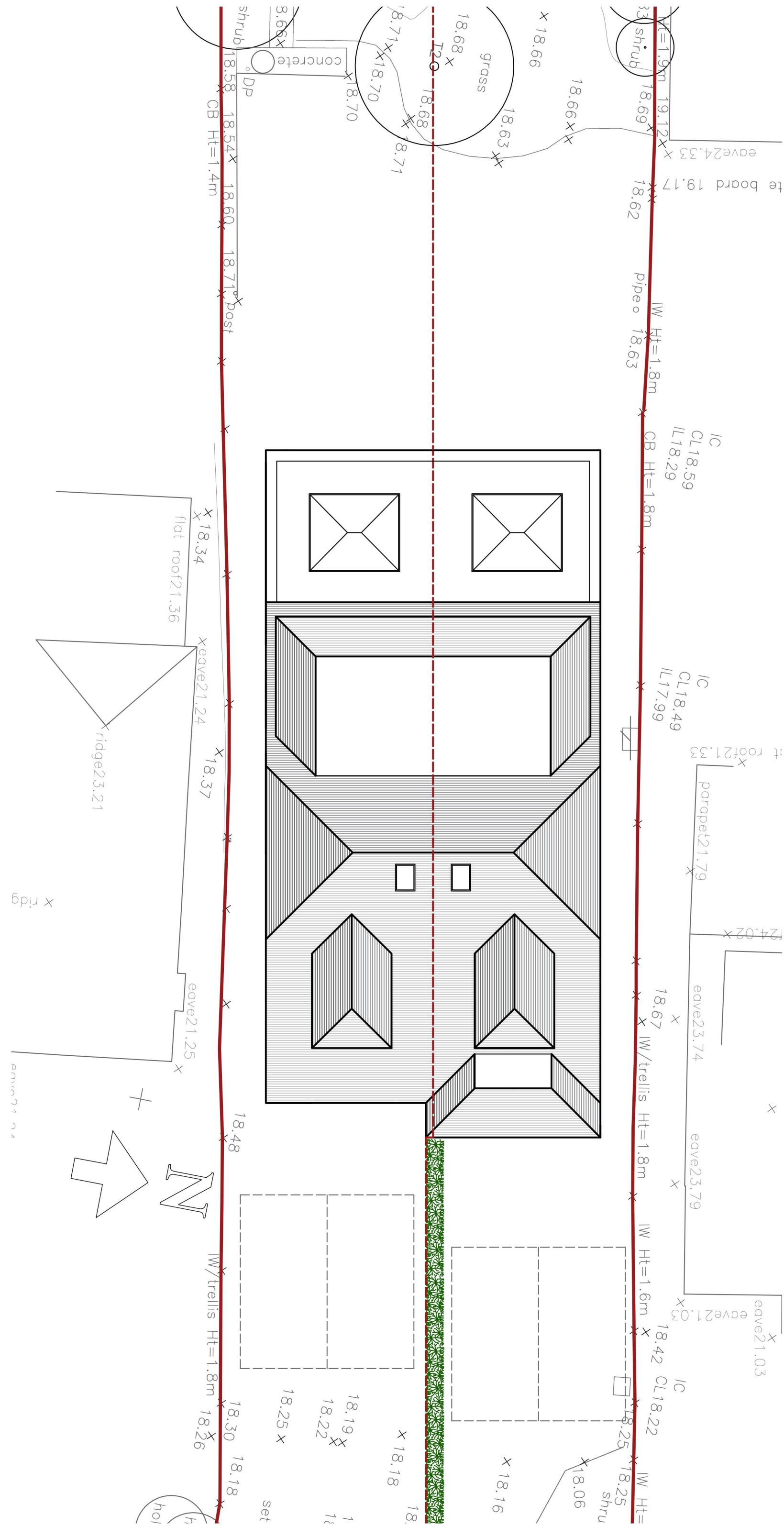
PROPOSED GROUND FLOOR PLANS

1.100



PROPOSED FIRST FLOOR PLANS

1.100



PROPOSED ROOF PLAN

1.100