

OFFICER REPORT FOR DECISION UNDER DELEGATED AUTHORITY

APPLICATION NO: P1784.21

WARD : Elm Park

Date Received: 10th September 2021

ADDRESS: 9 Silverdale Drive

Hornchurch

PROPOSAL: New front porch to replace the existing porch

DRAWING NO(S): Location Plan
DMP50026
DMP50025

RECOMMENDATION : It is recommended that **planning permission be GRANTED** subject to the condition(s) given at the end of the report

DESCRIPTION OF PROPOSAL

The application seeks planning permission for a replacement front porch. The proposal would include the removal of the existing porch which would be replaced by a bigger porch with similar design.

RELEVANT HISTORY

There is no relevant planning history.

CONSULTATIONS/REPRESENTATIONS

No representations were received in response to this application.

RELEVANT POLICIES

LONDON PLAN 2021:

Policy D1 London's form, character and capacity for growth

Policy D4 Delivering good design

Policy T6 Car parking

LOCAL PLAN:

Policy 7

Policy 26

LDF

SPD04 - Residential Extensions & Alterations SPD

OTHER

NPPF - National Planning Policy Framework

MAYORAL CIL IMPLICATIONS

This application is not CIL liable because the newly created floor space does not exceed 100 square metres.

STAFF COMMENTS

In accordance with the current criteria for site visits, an in-person site visit was not undertaken. In determining this planning application photos, Google StreetView TM, aerial view images and

submitted drawings were used to assess the site constraints.

DESIGN/IMPACT ON STREET/GARDEN SCENE

Policy 26 states that planning permission will only be granted for development which maintains, enhances or improves the character and appearance of the local area.

The SPD also indicated that for semi-detached or terraced houses, it is important to consider the design of the porch in relation to attached houses. If the neighbouring property has an existing well-designed porch, applicants will be encouraged to maintain symmetry and uniformity through a similar design.

The proposed new porch would be of a similar design to the existing porch however it would be bigger than the existing porch. The porch would be 1.65m deep, 3.8m wide with an eaves height of 2.2m. Although both adjacent properties at nos. 7 and 11 Silverdale Drive do not have front porches, some of the houses in the area have porches with similar design and size in particular nearer the site on the southern neighbouring properties - Nos. 21 and 23. As such, it is considered that the proposed porch would fit in with the existing character, streetscape and visual appearance of the area despite being 0.65m deeper and 0.6m wider than the existing porch.

IMPACT ON AMENITY

The proposed porch would be well setback from the adjacent neighbouring properties, as such a reasonable level of amenity would be provided to both the attached and non-attached neighbours. Whilst the proposed porch would be bigger than the existing porch, no significant harm to the character of the area or amenity to neighbours can be demonstrated, as such, the proposal is considered acceptable.

HIGHWAY/PARKING

Sufficient parking would remain on the application site.

KEY ISSUES/CONCLUSIONS

Subject to any conditions imposed, the proposed development is acceptable in terms of its appropriate design, scale and mass. The proposal would not cause any significant adverse impacts to the amenities of neighbouring properties or the character and appearance of the area.

RECOMMENDATION

It is recommended that **planning permission be GRANTED** subject to the following conditions:

1. SC4 (Time limit) 3yrs

The development to which this permission relates must be commenced not later than three years from the date of this permission.

Reason:-

To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. SC32 (Accordance with plans)

The development hereby permitted shall not be carried out otherwise than in complete accordance with the approved plans (as set out on page one of this decision notice).

Reason:-

For the avoidance of doubt and to ensure that the development is carried out as approved.

3. SC10 (Matching materials)

All new external finishes shall be carried out in materials to match those of the existing building(s) to the satisfaction of the Local Planning Authority.

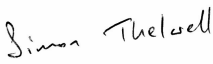
Reason:-

To safeguard the appearance of the premises and the character of the immediate area.

INFORMATIVES

1 Approval - No negotiation required

Statement Required by Article 35(2) of the Town and Country Planning (Development Management) Order 2015: No significant problems were identified during the consideration of the application, and therefore it has been determined in accordance with paragraph 38 of the National Planning Policy Framework.

Authorising Officer:	Simon Thelwell		08-12-2021
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