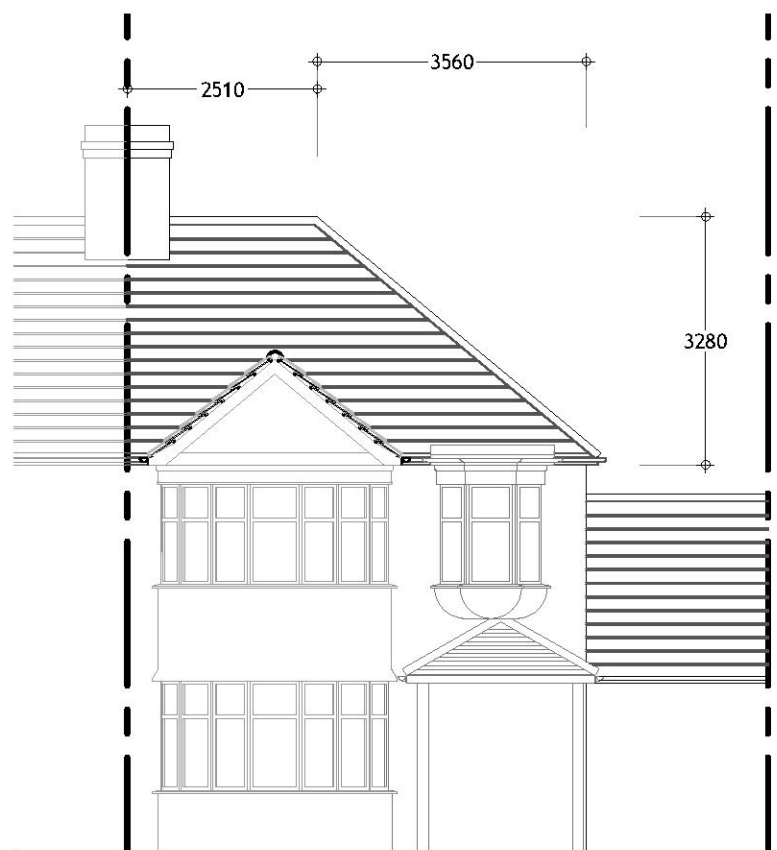
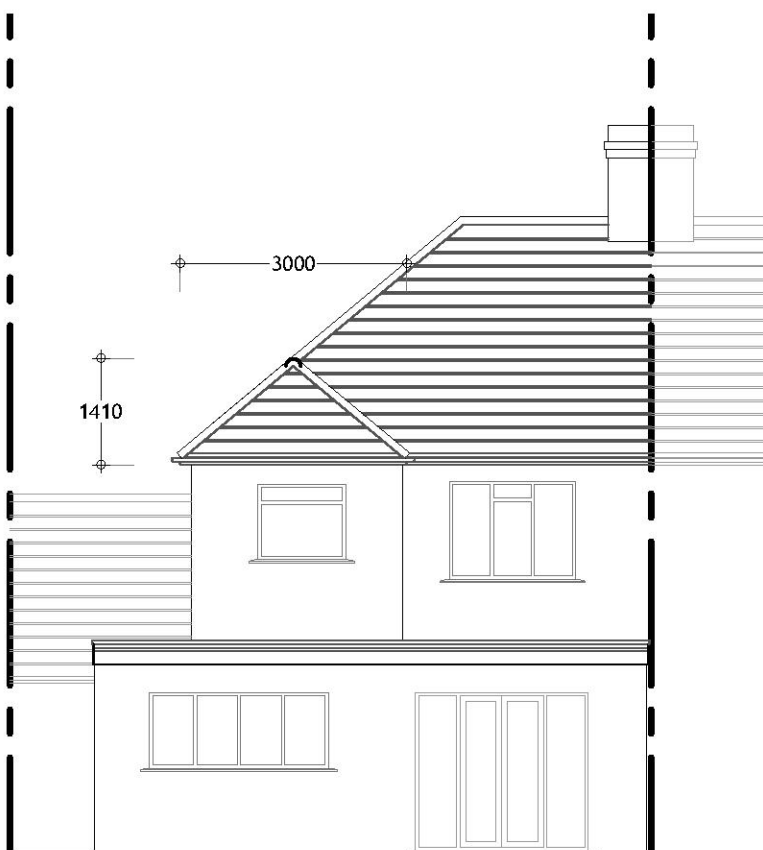




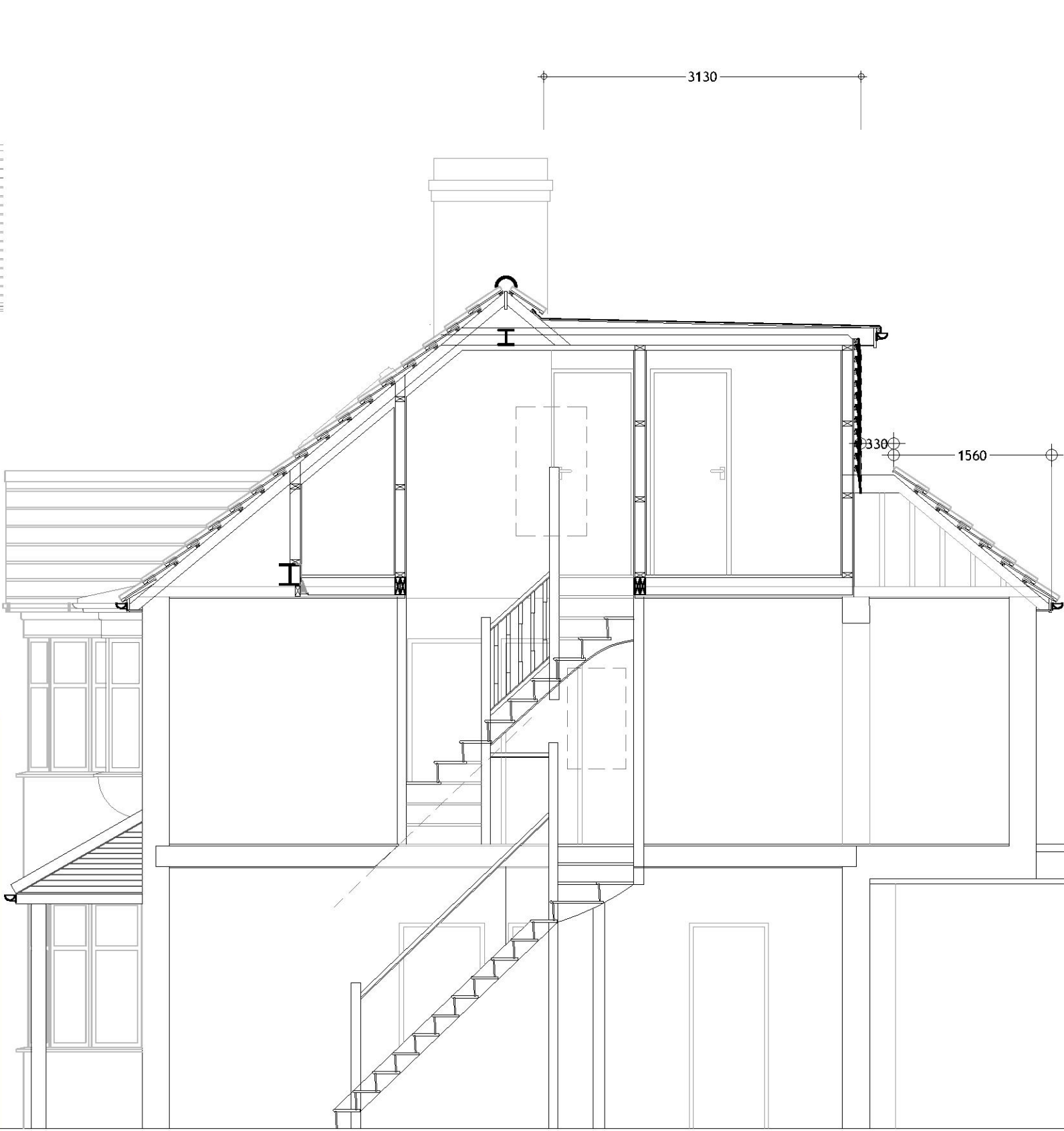
EXISTING FRONT ELEVATION
scale 1:100 at A1



EXISTING SIDE ELEVATION
scale 1:100 at A1



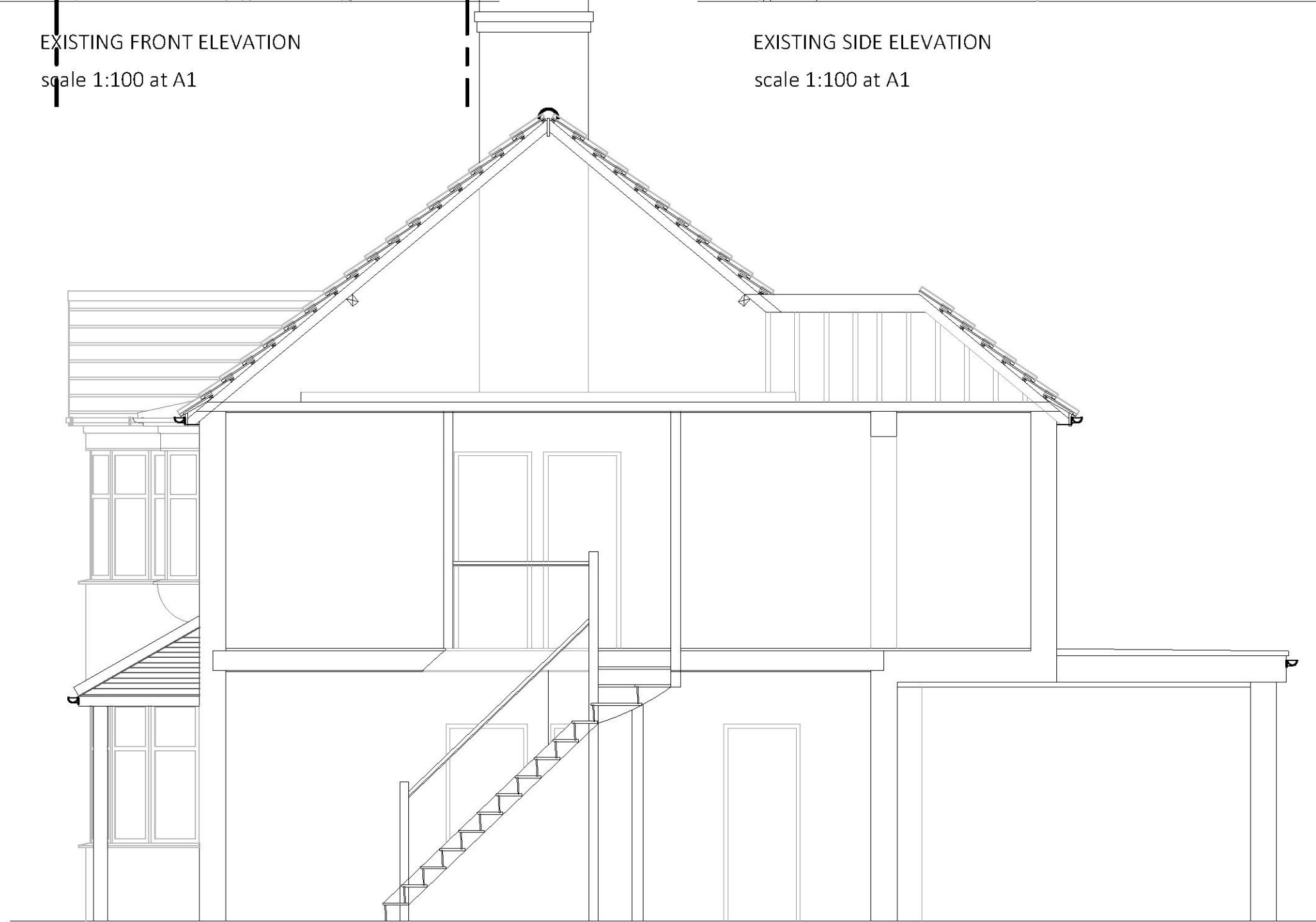
EXISTING REAR ELEVATION
scale 1:100 at A1



PROPOSED ROOF PLAN
scale 1:50 at A1



PROPOSED FRONT ELEVATION
scale 1:100 at A1



PROPOSED SIDE ELEVATION
scale 1:100 at A1

VOLUME CALCULATIONS :

Existing Roof

Hip End :

$$3.28 \times 3.60 \times 3.56 \times \frac{2}{3} = 28.02 \text{ m}^3$$

Main Roof :

$$3.28 \times 3.60 \times 2.51 = 29.64 \text{ m}^3$$

Rear Roof :

$$\frac{3.00 \times 1.41 \times 1.65}{2} = 3.49 \text{ m}^3$$

Total Volume of Existing Roof

$$29.64 \text{ m}^3 + 28.02 \text{ m}^3 + 3.49 \text{ m}^3 = 61.15 \text{ m}^3$$

Proposed Roof

Main Roof :

$$3.28 \times 3.60 \times 6.07 = 71.68 \text{ m}^3$$

Rear Dormer :

$$\frac{3.13 \times 2.50 \times 6.04}{2} = 23.63 \text{ m}^3$$

Rear Roof :

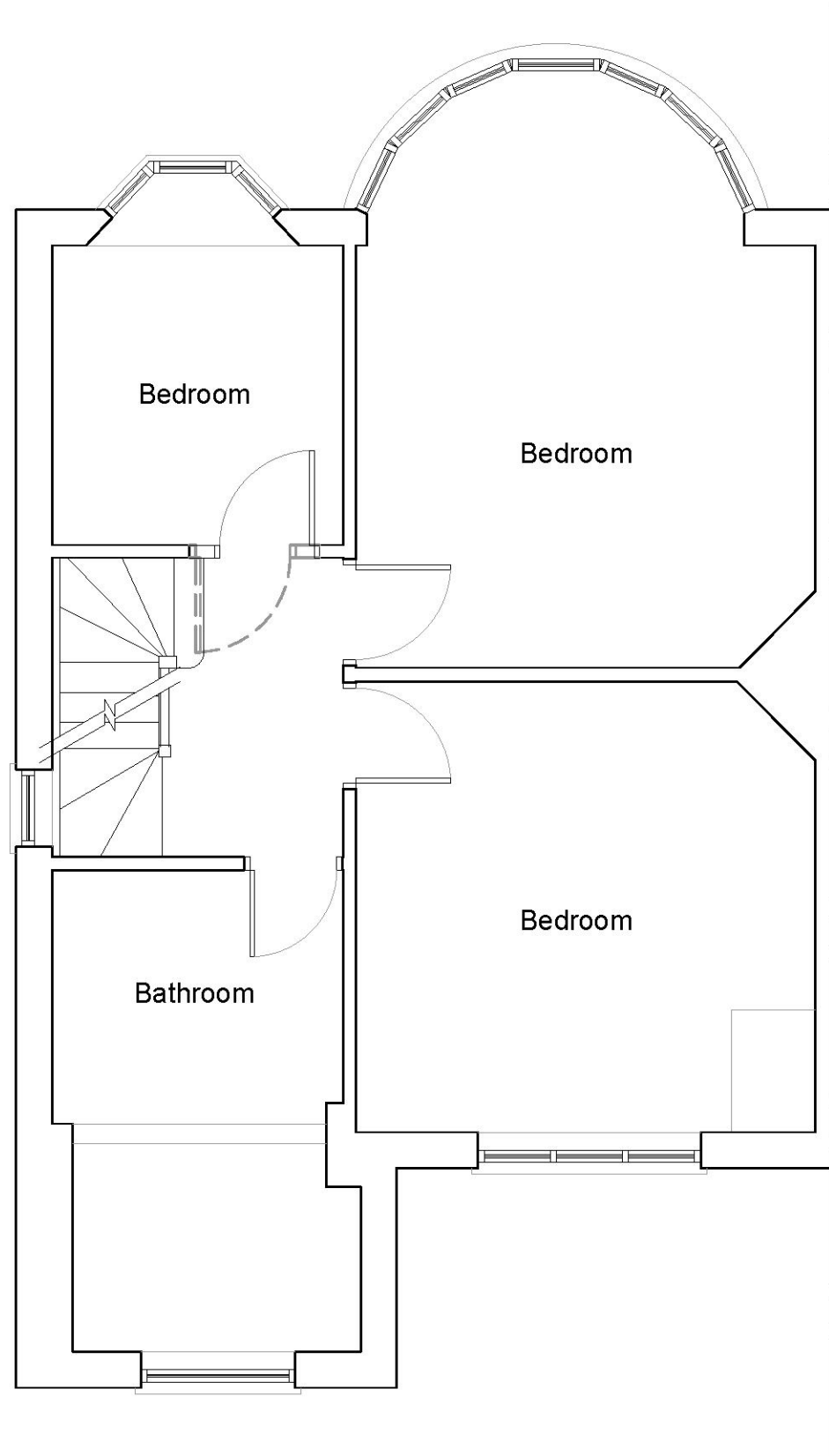
$$\frac{3.00 \times 1.41 \times 0.33}{2} = 0.70 \text{ m}^3$$

$$\frac{3.00 \times 1.41 \times 1.56 \times \frac{2}{3}}{2} = 2.20 \text{ m}^3$$

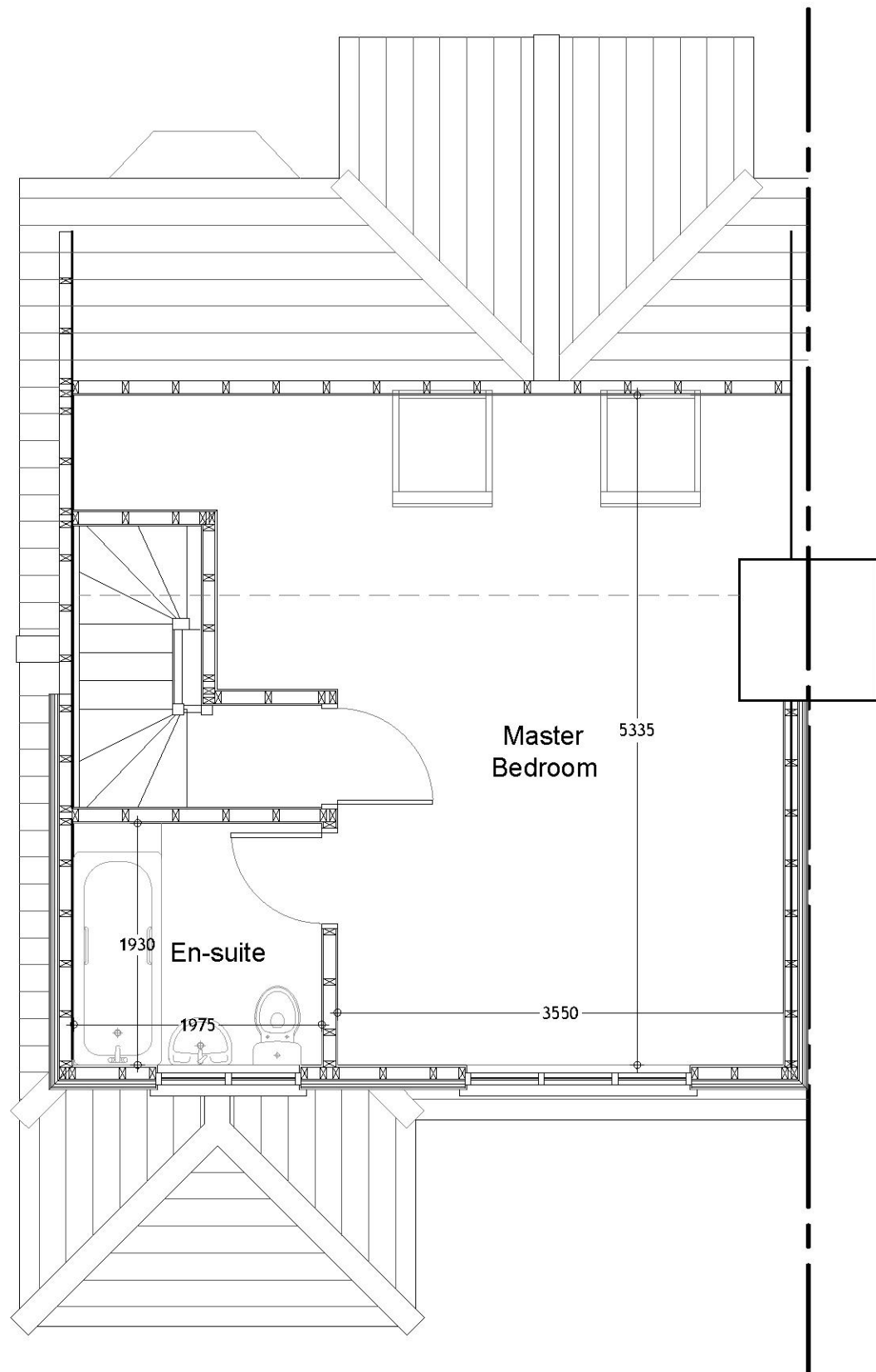
Total Volume of Existing Roof

$$71.68 \text{ m}^3 + 23.63 \text{ m}^3 + 0.70 \text{ m}^3 + 2.20 \text{ m}^3 = 98.21 \text{ m}^3$$

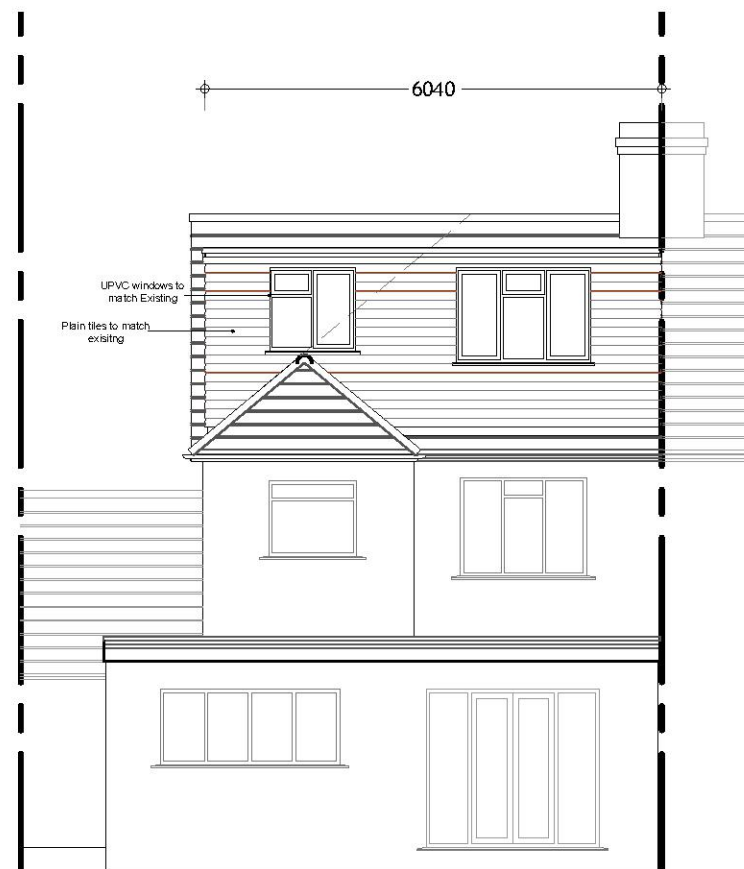
PROPOSED SECTION THROUGH scale 1:50 at A1



PROPOSED FIRST FLOOR PLAN
scale 1:50 at A1



PROPOSED SECOND FLOOR PLAN
scale 1:50 at A1



PROPOSED REAR ELEVATION
scale 1:100 at A1

ADDITIONAL VOLUME CALCULATION

Hip to Gable Conversion :

$$3.28 \times 3.60 \times \frac{3.56}{3} = 14.01 \text{ m}^3$$

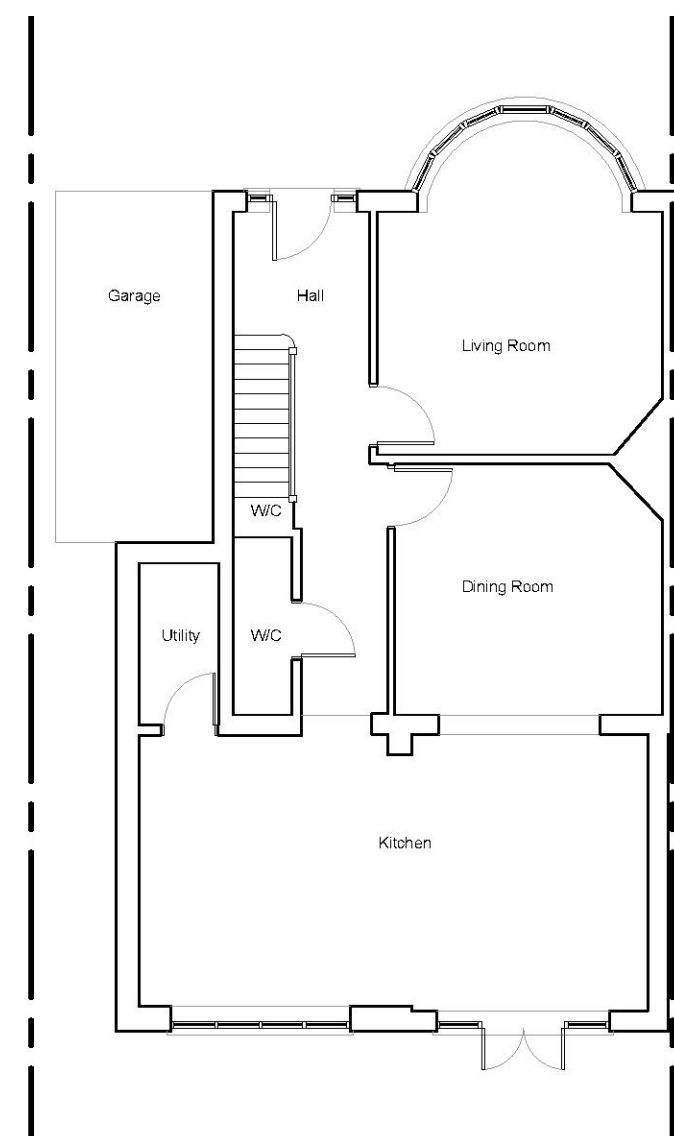
Rear Dormer :

$$\frac{3.13 \times 2.50 \times 6.04}{2} = 23.63 \text{ m}^3$$

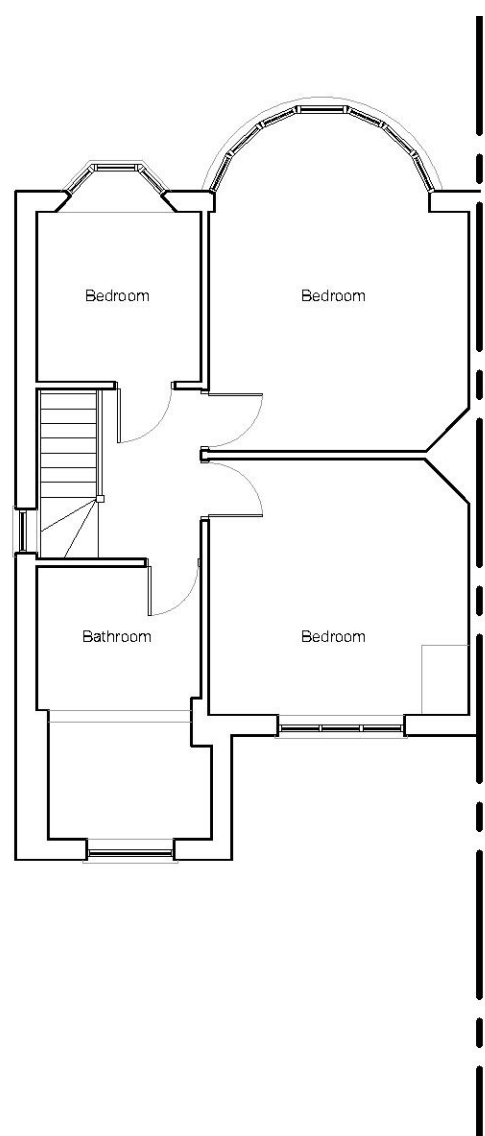
Total Additional Volume :

$$14.01 \text{ m}^3 + 23.63 \text{ m}^3 = 37.64 \text{ m}^3 < 50.00 \text{ m}^3$$

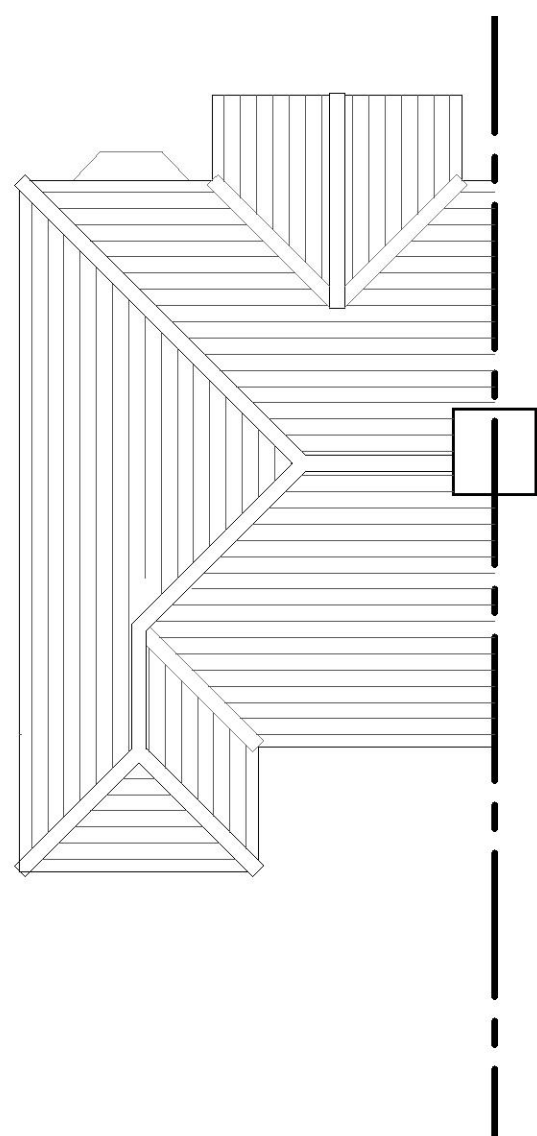
EXISTING SECTION THROUGH scale 1:50 at A1



EXISTING GROUND FLOOR PLAN
scale 1:100 at A1



EXISTING FIRST FLOOR PLAN
scale 1:100 at A1

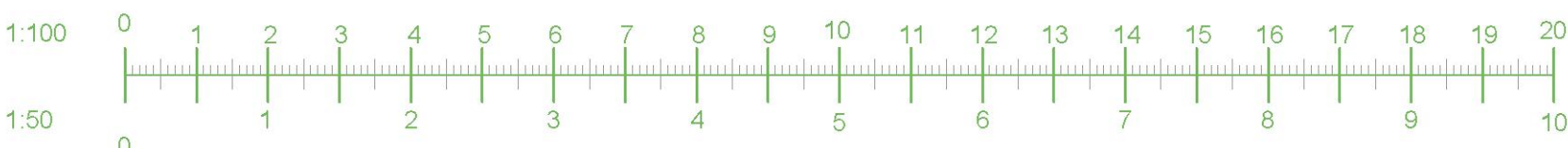


EXISTING ROOF PLAN
scale 1:100 at A1



LOCATION PLAN
scale 1:1250 at A1

Scale Bar



All dimensions to be confirmed on site before any work commences. Godden & Grimshaw Ltd. retain copyright of design, scheme & ownership of drawings. Drawing to be read in conjunction with the specification and all relevant drawings. We recommend approvals obtained from all statutory bodies prior to commencement of works. Any works undertaken without approval is done so at owners risk.

546 Upper Brentwood Road,
Romford
RM2 6HX

Proposed Hip to Gable Conversion and
Rear Dormer together with 2 velux
windows to front slope.
Existing and Proposed Plans, Sections
and Elevations

Scale:
1:100, 1:50
Client:
Ms. Lisa OSullivan

Date:
November 2021
Drawing No:
RM2-6HX-546-01B
Rev. B Existing & Proposed Roof Volumes added

