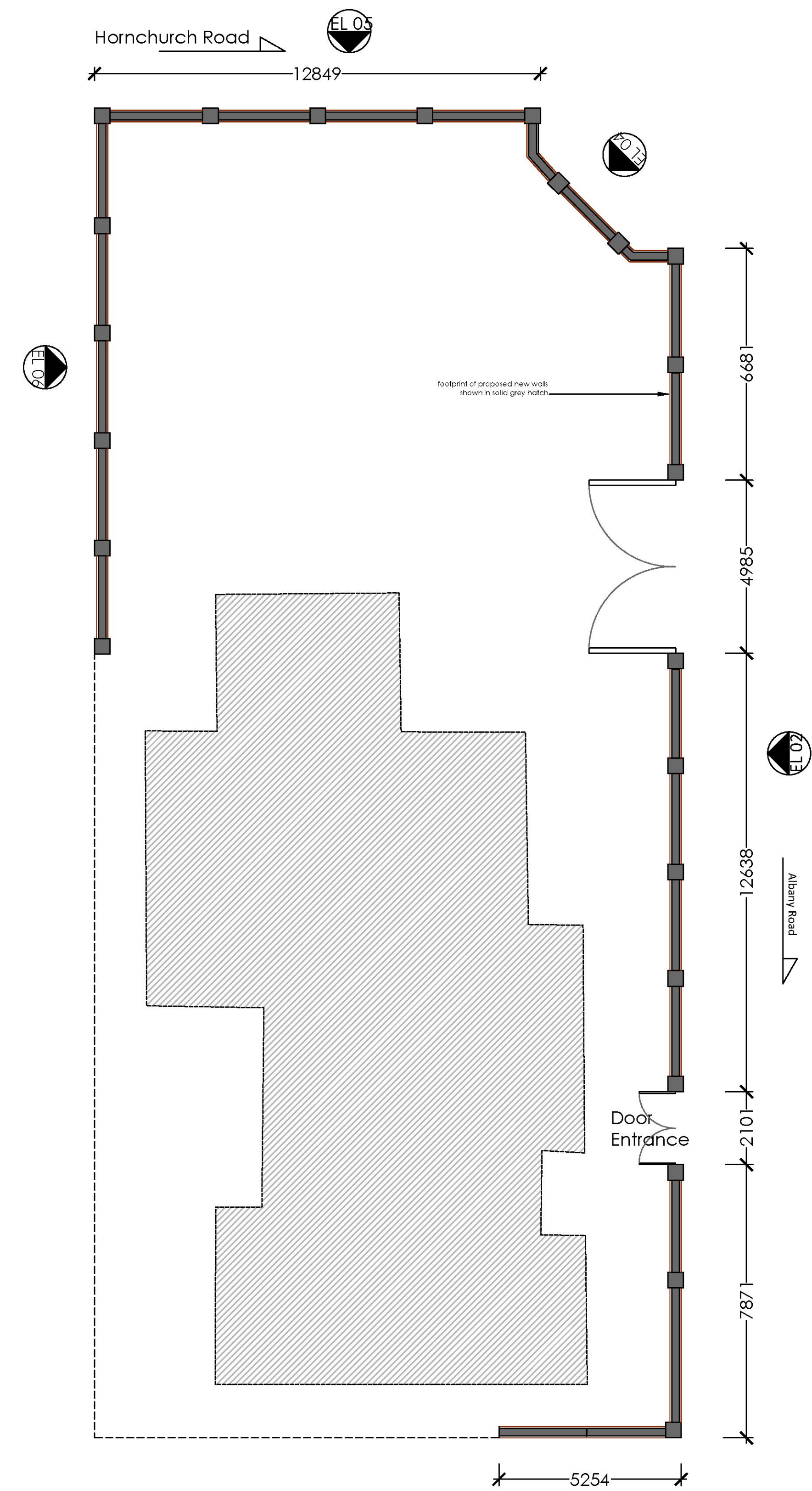
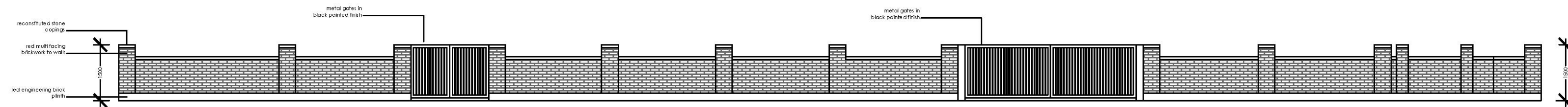
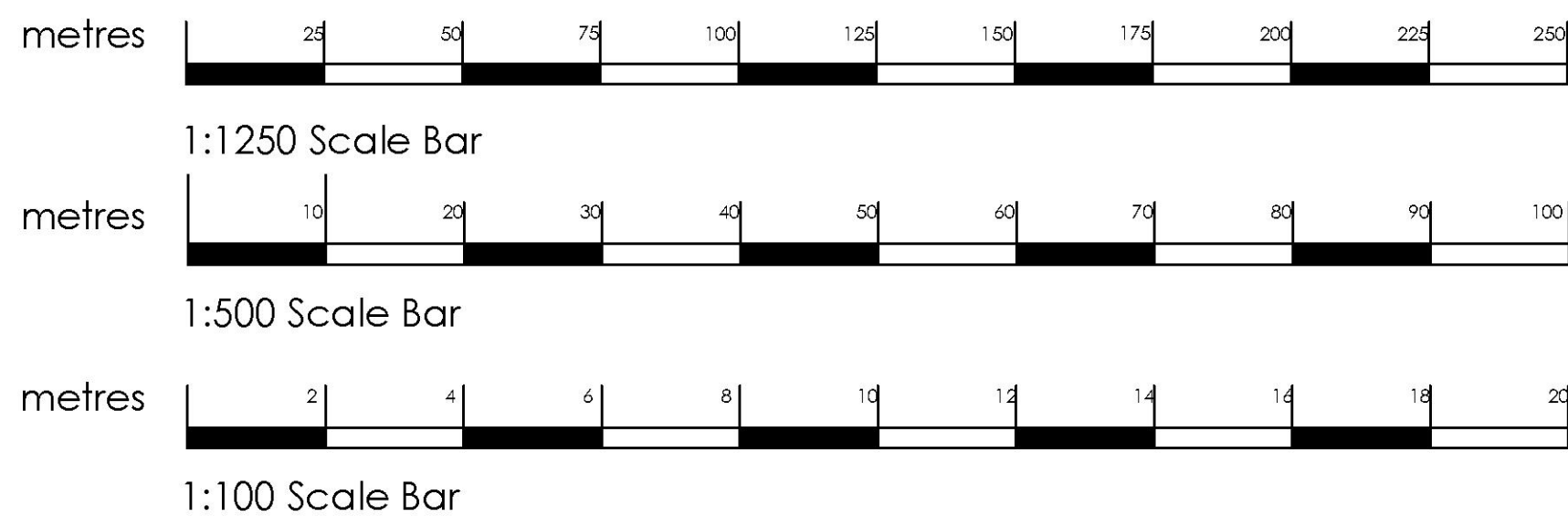
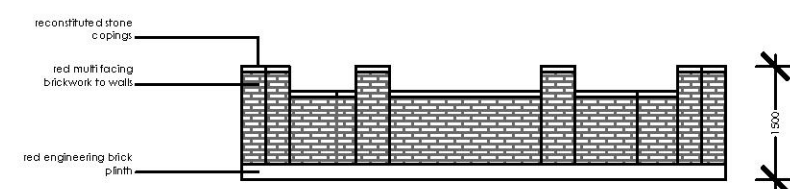




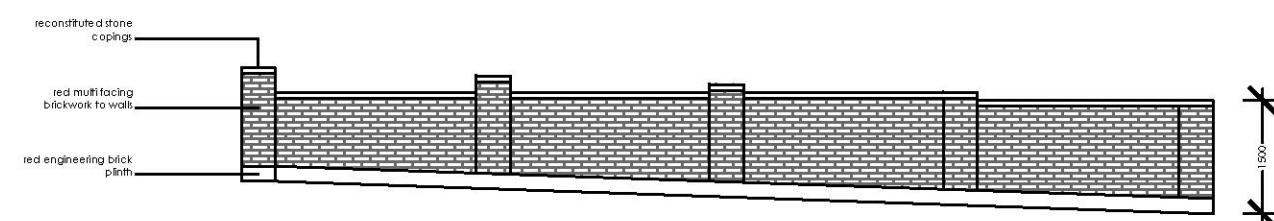
01 GROUND FLOOR PLAN
1:100



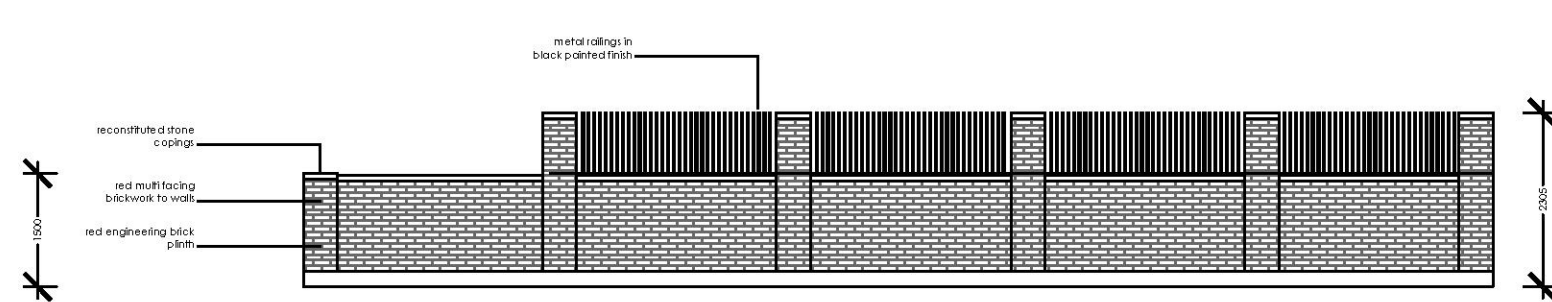
02 Elevation from Albany Road
1:100



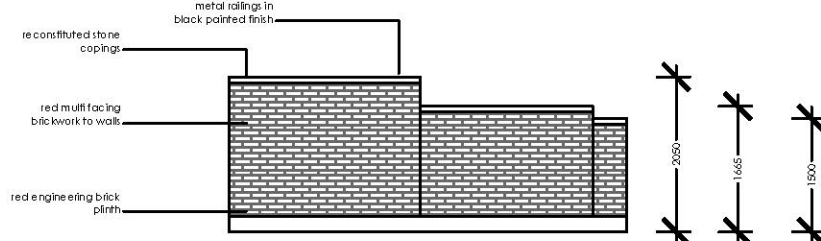
04 Elevation from Corner of Albany Road and Hornchurch Road
1:100



05 Elevation from Hornchurch Road
1:100



06 Elevation from No.231 Hornchurch Road Private Driveway
1:100

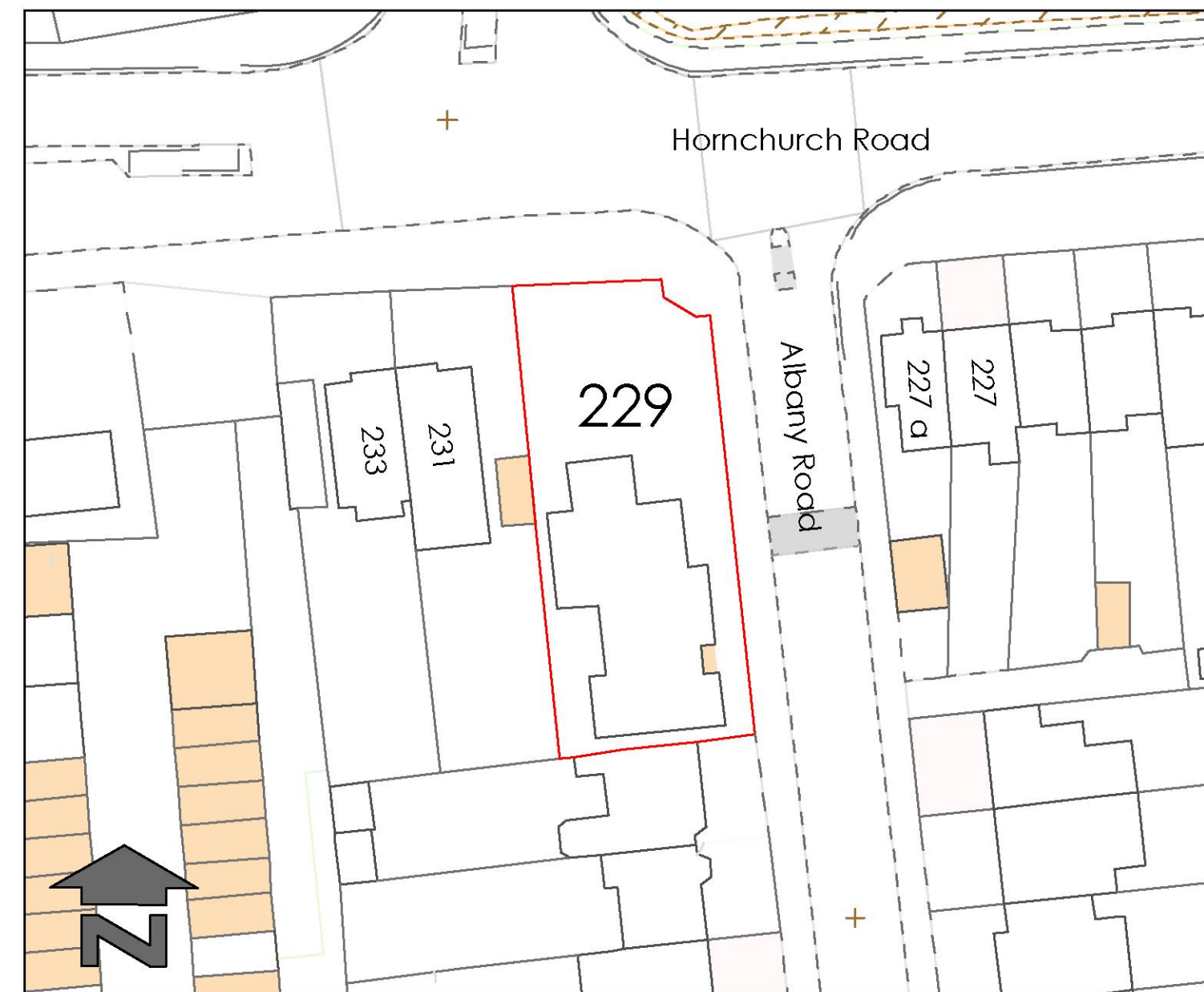


07 Elevation from No. 2 Albany Road Private Driveway
1:100



08 AERIAL PHOTOGRAPH
SCALE N/A

09 SITE LOCATION PLAN
1:1250



10 BLOCK PLAN
1:500

NOTE TO PLANNING OFFICER

AS AGREED, ALL WALLS/SCOPING STONES/GATES/RAILINGS FACING ONTO THE HIGHWAY/PUBLIC FOOTPATH WILL BE 1500MM HIGH AS MEASURED FROM THE PAVEMENT LEVEL OR THE GROUND LEVEL OF THE ADJOINING NEIGHBOURING LAND

PLEASE NOTE

THE DIMENSIONS IN THESE DRAWINGS ARE INDICATIVE ONLY AND HAVE BEEN OBTAINED SOLELY FOR THE PURPOSES OF PLANNING PERMISSION AND BUILDING CONTROL APPROVAL DESIGN. THEY ARE NOT INTENDED FOR USE AS SHOP DRAWINGS OR USE IN DESIGNING, MANUFACTURING OR INSTALLING ANY ELEMENT OF THE PROJECT ON SITE. DO NOT SCALE FROM THESE DRAWINGS. ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS. ACCURATE SITE DIMENSIONS MUST BE TAKEN BY THE CONTRACTOR FOR THE PURPOSES OF DESIGN AND FABRICATION OF ANY ELEMENT OF THE PROJECT, INCLUDING BUT NOT LIMITED TO STEELWORK, STAIRCASES, WINDOWS, DOORS, FLOOR MEMBERS, TRUSSES, LINTELS ETC. RESPONSIBILITY IS NOT ACCEPTED FOR ERRORS MADE BY SCALING DIRECTLY FROM THIS DRAWING WITH REGARD TO EXISTING STRUCTURES. CONSIDERATION SHOULD BE GIVEN TO THE STRUCTURE BEING OUT OF SQUARE, OUT OF PLUMB OR OUT OF LINE AND LEVEL, AS THIS WILL NOT NECESSARILY BE INDICATED IN THE DRAWINGS. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, DETAILS, SCHEDULES, SPECIFICATIONS AND STRUCTURAL ENGINEERING CALCULATIONS AND DESIGN. THE DESIGNER IS TO BE NOTIFIED IF ANYTHING ON SITE IS DIFFERENT TO THIS DRAWING OR IF THE DESIGN IS TO BE DEVIATED FROM.

CDM REGULATIONS

MEMBER SIZES AND DIMENSIONS HAVE BEEN DESIGNED IN ORDER TO SATISFY THE DESIGN REQUIREMENTS OF THE PROJECT. THE CONTRACTOR SHOULD BE AWARE OF THE RISKS ASSOCIATED WITH HANDLING AND INSTALLATION OF STRUCTURAL MEMBERS. NO RESPONSIBILITY FOR THESE ASPECTS IS TAKEN AT THE DESIGN STAGE. THE CONTRACTOR MUST BE SUITABLY EXPERIENCED IN ALL ASPECTS OF HANDLING AND LIFTING. ALL TEMPORARY WORKS MUST COMPLY WITH CURRENT LEGISLATION. A SUITABLE METHOD STATEMENT AND RISK ASSESSMENT SHOULD BE PRODUCED PRIOR TO ANY REMOVAL OR RE-LOCATION OF LOADBEARING MEMBERS OR INDEED ANY WORKS WITH POTENTIAL HEALTH AND SAFETY IMPLICATIONS. PARTICULAR CARE MUST BE TAKEN WHEN PROVIDING TEMPORARY SUPPORT IF THERE IS ANY DOUBT REGARDING HEALTH AND SAFETY. A CDM CO-ORDINATOR/HEALTH AND SAFETY PROFESSIONAL SHOULD BE CONSULTED.

THIS DRAWING IS NOT A TENDER DOCUMENT

THESE DRAWINGS ARE NOT INTENDED FOR USE AS A TENDER DOCUMENT. THE INFORMATION CONTAINED IN THESE DRAWINGS IS CONSIDERED SUFFICIENT FOR THE PURPOSES OF PLANNING PERMISSION AND BUILDING CONTROL APPROVAL, BUT MAY BE LACKING THE NECESSARY INFORMATION REGARDING SPECIFICATION, DIMENSIONS, BUILD METHODOLOGY AND SEQUENCE, MSE, FINISHES ETC. REQUIRED FOR TENDERING. FOR THE PURPOSES OF TENDERING A SUITABLE TENDER DOCUMENT SHOULD BE PRODUCED. THE PROJECT MANAGER/CONTRACT ADMINISTRATOR SHOULD BE CONTACTED REGARDING THIS.

PRINTING

THIS DRAWING SHOULD ALWAYS BE PRINTED OUT AT FULL SIZE (SEE TITLE BLOCK BELOW) AND ALWAYS IN COLOUR. COLOUR PARTICULARLY IMPORTANT FOR UTILITIES/SERVICES/DRAINAGE/BOUNDARY DRAWINGS WHERE LINE COLOURS ARE CRITICAL.

Revision Ref Revision Summary

CLIENT
Mr S Chopra

ADDRESS
229 Hornchurch Road
Hornchurch
RM12 4TP

PROJECT
Replacement Boundary Wall,
Railings and Gate

Humphreys & Sons Ltd
Chartered Surveyors

London Office
100 The Westfield Building
41 Cheapside Street
London EC3N 3DF
02076895152
07711452535

Draw Office
100 The Westfield Building
41 Cheapside Street
London EC3N 3DF
02076895152
07711452535

Chartered Building Consultancy
Planning Permission
Building Regulations Plans
Party Wall Surveys
Project Management

TITLE
Elevations, Plans, Site Location
Plan, Block Plan, Photos

PURPOSE OF ISSUE
Planning Permission Application

SCALE
see dwg (at A1)

DATE
Nov 2019

JOHN NO
19-229-4TP

DRAWING NO
PL001

REVISION
B