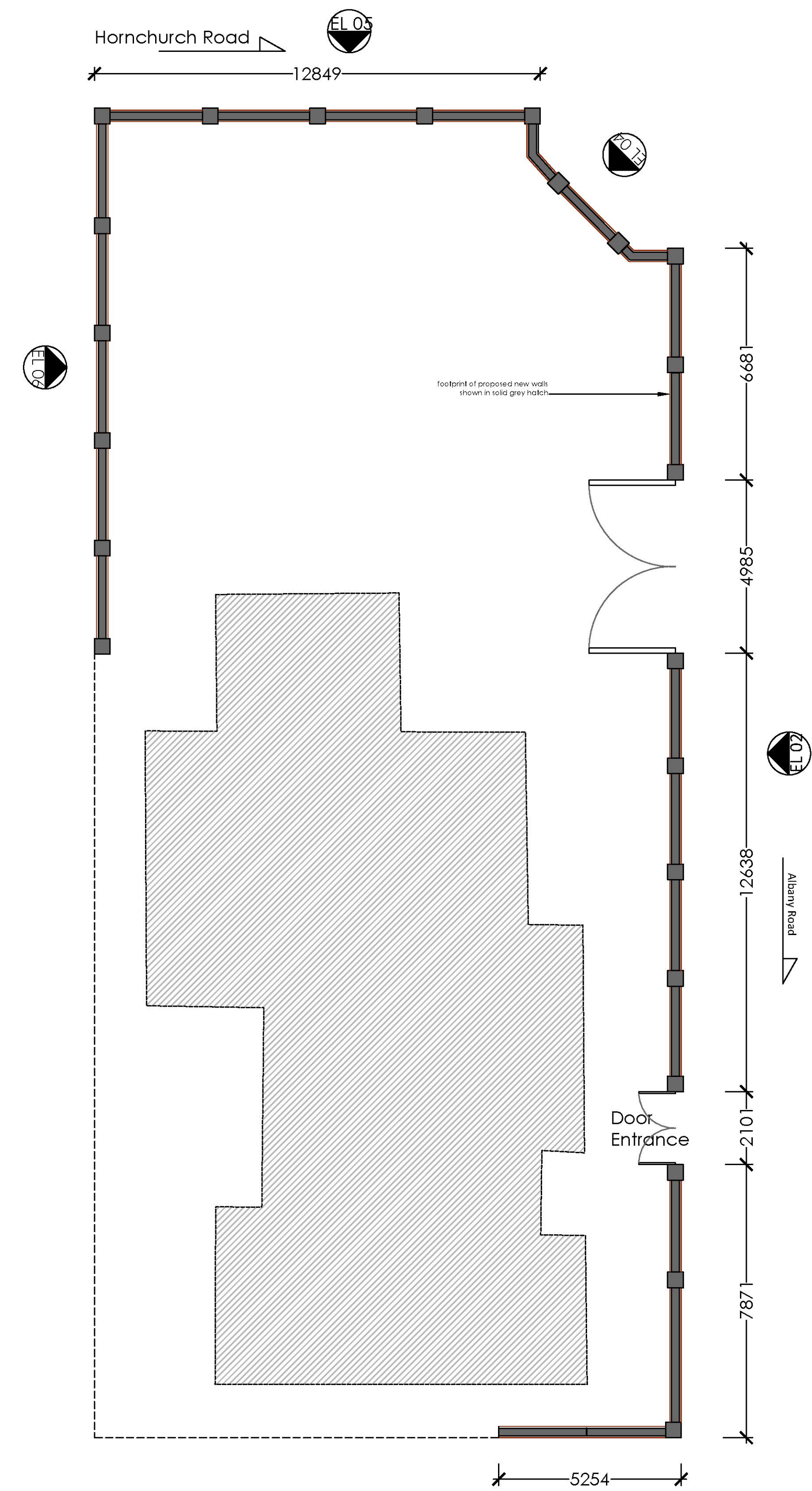
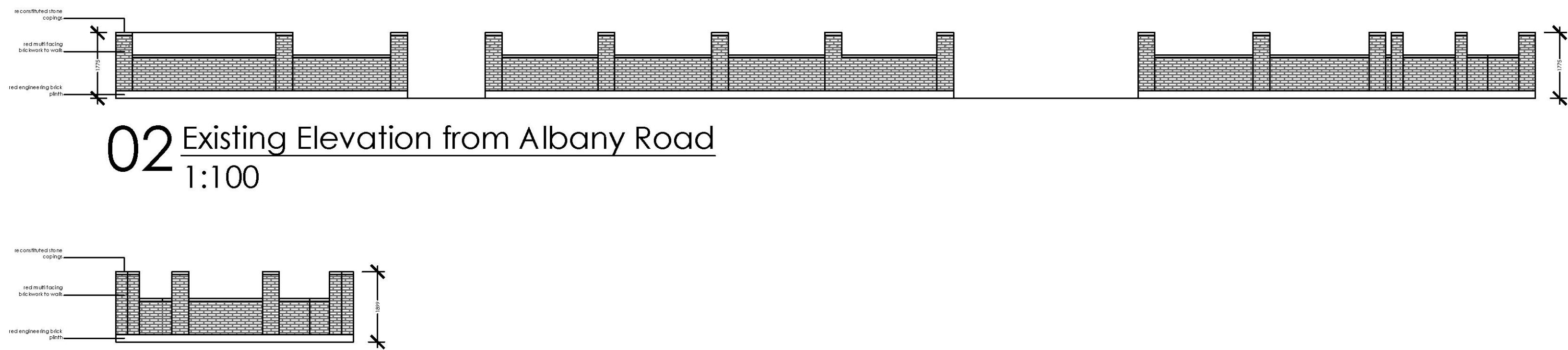
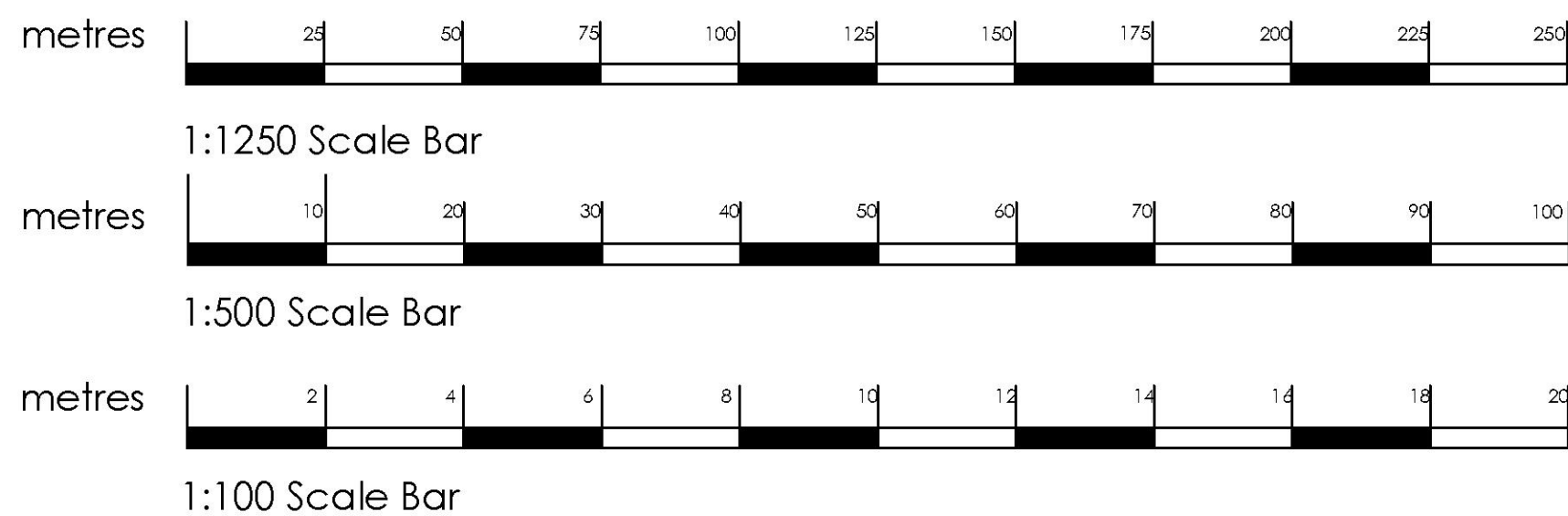


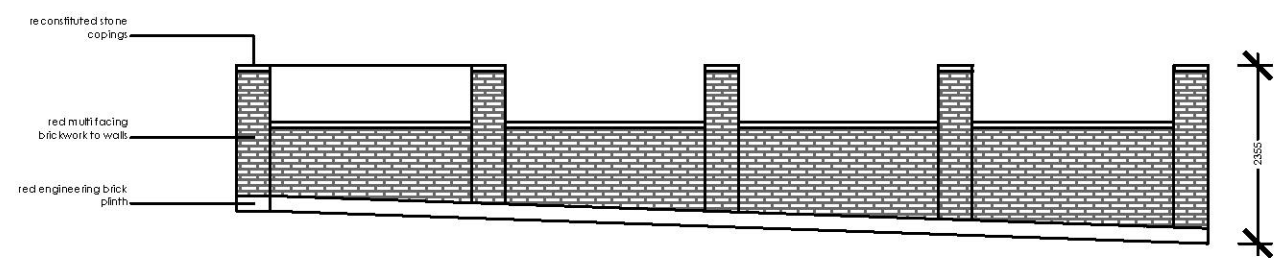


01 GROUND FLOOR PLAN
1:100

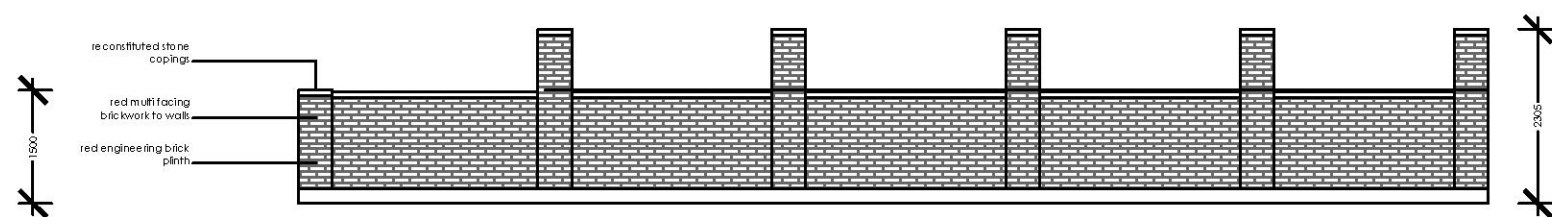


02 Existing Elevation from Albany Road
1:100

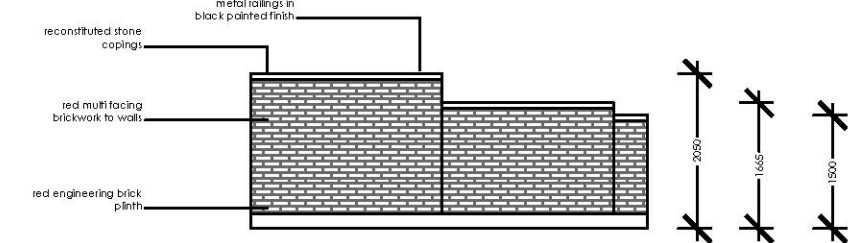
04 Existing Elevation from Corner of Albany Road and Hornchurch Road
1:100



05 Existing Elevation from Hornchurch Road
1:100



06 Existing Elevation from No.231 Hornchurch Road Private Driveway
1:100

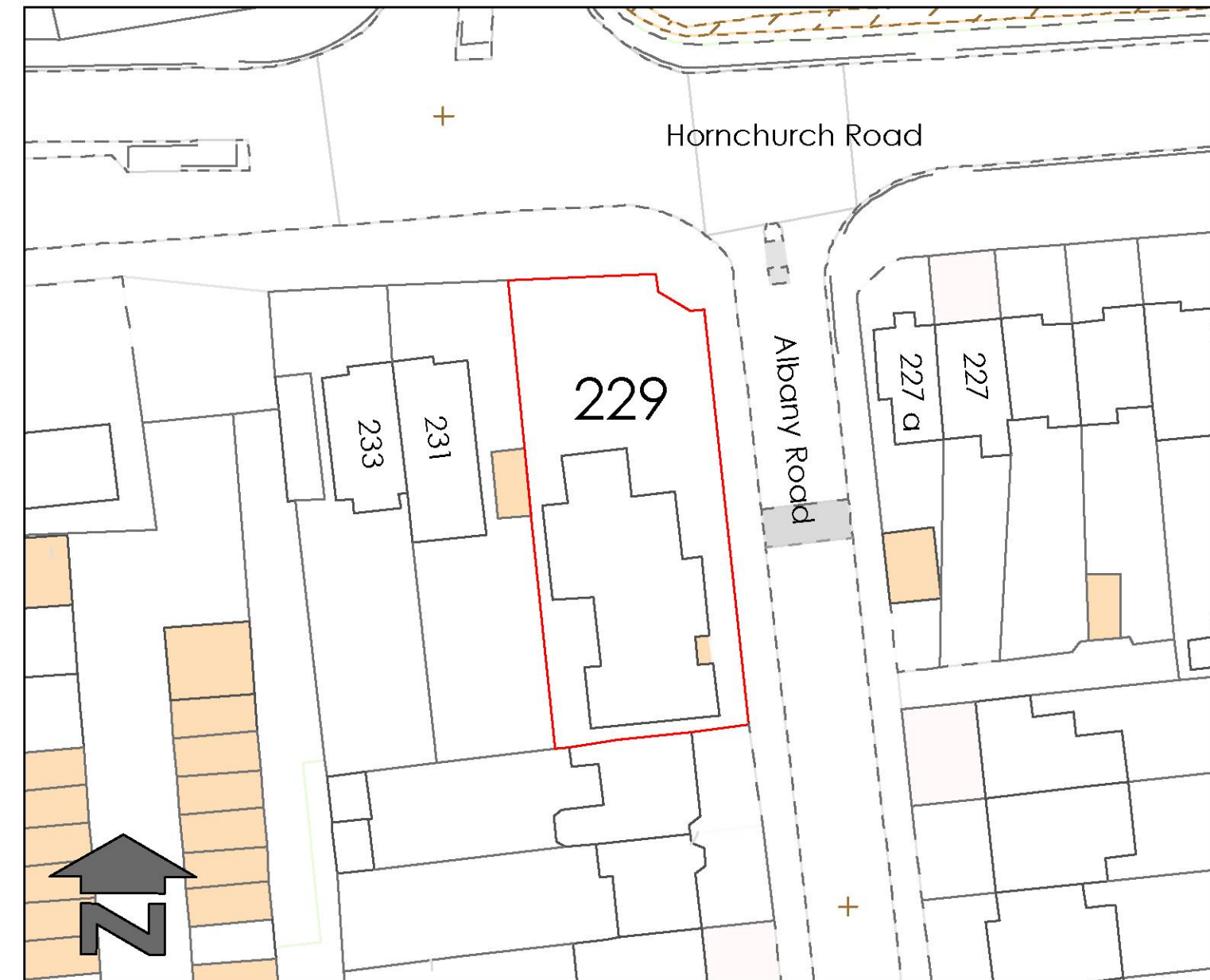


07 Existing Elevation from No. 2 Albany Road Private Driveway
1:100



08 AERIAL PHOTOGRAPH
SCALE N/A

09 SITE LOCATION PLAN
1:1250



10 BLOCK PLAN
1:500

NOTE TO PLANNING OFFICER
AS AGREED, ALL WALLS/SCOPING STONES/GATES/RAILINGS FACING ONTO THE HIGHWAY/PUBLIC FOOTPATH WILL BE 1500MM HIGH AS MEASURED FROM THE PAVEMENT LEVEL OR THE GROUND LEVEL OF THE ADJOINING NEIGHBOURING LAND

PLEASE NOTE
THE DIMENSIONS IN THESE DRAWINGS ARE INDICATIVE ONLY AND HAVE BEEN OBTAINED SOLELY FOR THE PURPOSES OF PLANNING PERMISSION AND BUILDING CONTROL APPROVAL. DESIGN, THEY ARE NOT INTENDED FOR USE AS SHOP DRAWINGS OR USE IN DESIGNING, MANUFACTURING OR INSTALLING ANY ELEMENT OF THE PROJECT ON SITE. DO NOT SCALE FROM THESE DRAWINGS. ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS. ACCURATE SITE DIMENSIONS MUST BE TAKEN BY THE CONTRACTOR FOR THE PURPOSES OF DESIGN AND FABRICATION OF ANY ELEMENT OF THE PROJECT, INCLUDING BUT NOT LIMITED TO STEELWORK, STAIRCASES, WINDOWS, DOORS, FLOOR MEMBERS, TRUSSES, LINTELS ETC. RESPONSIBILITY IS NOT ACCEPTED FOR ERRORS MADE BY SCALING DIRECTLY FROM THIS DRAWING WITH REGARD TO EXISTING STRUCTURES. CONSIDERATION SHOULD BE GIVEN TO THE STRUCTURE BEING OUT OF SQUARE, OUT OF PLUMB OR OUT OF LINE AND LEVEL, AS THIS WILL NOT NECESSARILY BE INDICATED IN THE DRAWINGS. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, DETAILS, SCHEDULES, SPECIFICATIONS AND STRUCTURAL ENGINEERING CALCULATIONS AND DESIGN. THE DESIGNER IS TO BE NOTIFIED IF ANYTHING ON SITE IS DIFFERENT TO THIS DRAWING OR IF THE DESIGN IS TO BE DEVIATED FROM.

CDM REGULATIONS
MEMBER SIZES AND DIMENSIONS HAVE BEEN DESIGNED IN ORDER TO SATISFY THE DESIGN REQUIREMENTS OF THE PROJECT. THE CONTRACTOR SHOULD BE AWARE OF THE RISKS ASSOCIATED WITH HANDLING AND INSTALLATION OF STRUCTURAL MEMBERS. NO RESPONSIBILITY FOR THESE ASPECTS IS TAKEN AT THE DESIGN STAGE. THE CONTRACTOR MUST BE SUITABLY EXPERIENCED IN ALL ASPECTS OF HANDLING AND LIFTING. ALL TEMPORARY WORKS MUST COMPLY WITH CURRENT LEGISLATION. A SUITABLE METHOD STATEMENT AND RISK ASSESSMENT SHOULD BE PRODUCED PRIOR TO ANY REMOVAL OR RE-LOCATION OF LOADBEARING MEMBERS OR INDEED ANY WORKS WITH POTENTIAL HEALTH AND SAFETY IMPLICATIONS. PARTICULAR CARE MUST BE TAKEN WHEN PROVIDING TEMPORARY SUPPORT. IF THERE IS ANY DOUBT REGARDING HEALTH AND SAFETY, A CDM CO-ORDINATOR/HEALTH AND SAFETY PROFESSIONAL SHOULD BE CONSULTED.

THIS DRAWING IS NOT A TENDER DOCUMENT
THESE DRAWINGS ARE NOT INTENDED FOR USE AS A TENDER DOCUMENT. THE INFORMATION CONTAINED IN THESE DRAWINGS IS CONSIDERED SUFFICIENT FOR THE PURPOSES OF PLANNING PERMISSION AND BUILDING CONTROL APPROVAL, BUT MAY BE LACKING THE NECESSARY INFORMATION REGARDING SPECIFICATION, DIMENSIONS, BUILD METHODOLOGY AND SEQUENCE, MSE, FINISHES ETC. REQUIRED FOR TENDERING. FOR THE PURPOSES OF TENDERING A SUITABLE TENDER DOCUMENT SHOULD BE PRODUCED. THE PROJECT MANAGER/CONTRACT ADMINISTRATOR SHOULD BE CONTACTED REGARDING THIS.

PRINTING
THIS DRAWING SHOULD ALWAYS BE PRINTED OUT AT FULL SIZE (SEE TITLE BLOCK BELOW) AND ALWAYS IN COLOUR. COLOUR PARTICULARLY IMPORTANT FOR UTILITIES/SERVICES/DRAINAGE/BOUNDARY DRAWINGS WHERE LINE COLOURS ARE CRITICAL.

Revision Ref	Revision Summary
000001	Mr S Chopra
000002	229 Hornchurch Road Hornchurch RM12 4TP
000003	Replacement Boundary Wall, Railings and Gate
000004	Humphreys & Sons Ltd Chartered Surveyors
000005	London Office 100 The Westwood Building 41 Cornhill Street London W1P 3EP 02076889552 07714525255
000006	Draw Office 100 The Westwood Building 41 Cornhill Street London W1P 3EP 02076889552 07714525255
000007	Chartered Building Consultancy
000008	Planning Permission Building Regulations Plans Party Wall Surveys Project Management
000009	Existing Elevations, Plans, Site Location Plan, Block Plan
000010	Planning Permission Application
000011	SCALE see dwg (at A1)
000012	DATE Nov 2019
000013	JOHN HODGSON 19-229-4TP
000014	DRAWING TALK PL001
000015	REVISION C