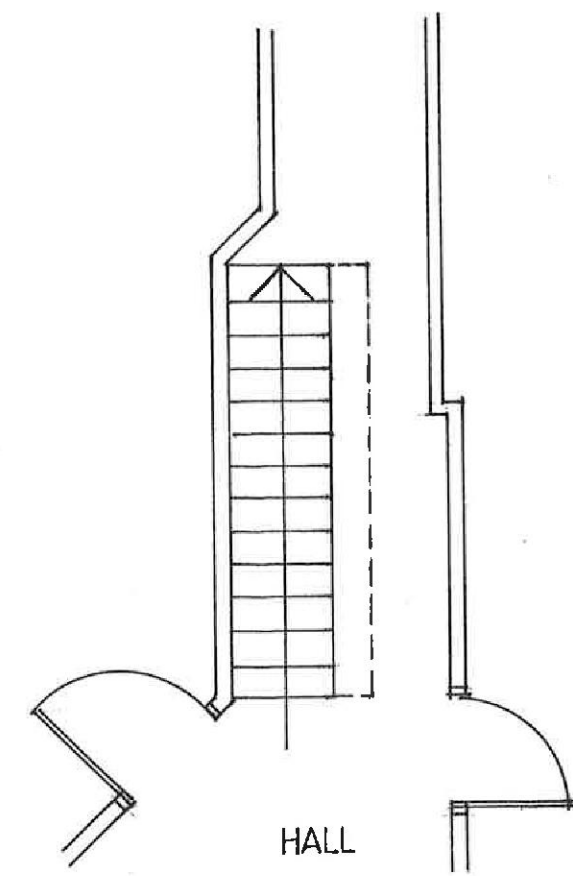
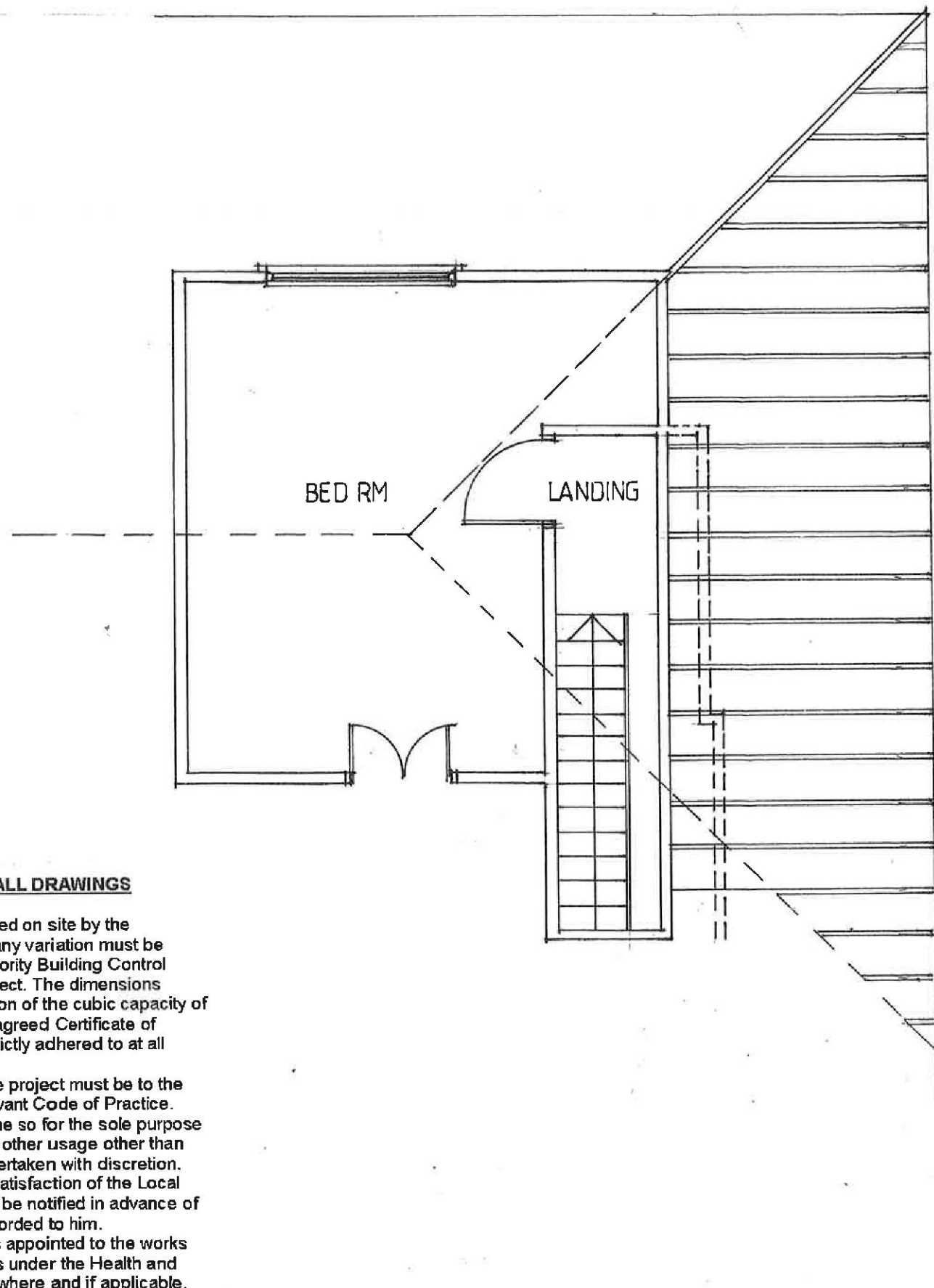


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**GENERAL NOTES RELEVANT TO ALL DRAWINGS  
PREPARED**

All dimensions noted are to be checked on site by the contractor and or his operatives and any variation must be agreed with the Employer/ Local Authority Building Control Department and referred to the Architect. The dimensions noted are the formula for the calculation of the cubic capacity of all of the extension works as per the agreed Certificate of Lawfulness approved and must be strictly adhered to at all times.

All workmanship and materials for the project must be to the appropriate British Standard and relevant Code of Practice.

All drawings prepared have been done so for the sole purpose of obtaining Statutory Approvals. Any other usage other than construction purposes should be undertaken with discretion.

All works must be carried out to the satisfaction of the Local Authority Building Inspector who is to be notified in advance of the works and all requisite notices afforded to him.

Main contractors and sub contractors appointed to the works must be aware of their responsibilities under the Health and Safety Executives CDM Regulations where and if applicable.

Where Construction Design and Management Regulations apply a competent Planning Supervisor should be appointed to prepare a Health and Safety Plan and serve all requisite notices to the HSE.

No supervision works are required of the Architect once works is commenced.

**PROPOSED SIDE DORMER AT:  
59 CANTERBURY AVENUE CRAMHAM  
RM14 3LD FOR:  
KAREN SMITH and STEVEN GREEN.**

|                            |                                                                                                                                                                                                          |
|----------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Drg. No.<br><b>01/2020</b> | Drawing Title: <i>EXISTING GROUND AND<br/>FIRST FLOOR PLANS.</i>                                                                                                                                         |
| Rev:                       | J. Dunne Associates.<br>Architects Building Surveyors<br>394 Wingley Lane Hornchurch Essex RM11 3DB<br>Ph: 01708 450865 Mob: 07831 176210. E-Mail <a href="mailto:dunneida@aol.com">dunneida@aol.com</a> |
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### NEW STAIRCASE

Strip out existing staircase and cart away.

In place: Purpose manufacture supply and install new MDF timber staircase with 25mm risers and treads and 32mm stringers. Provide for 13 risers at 200mm high and 14 goings at 220mm wide. Ensure a min of 2000mm clear headroom from landing levels to underside of finished ceiling / soffit levels in new dormer extension all in accordance with Building Regulations.

New staircase set to a maximum pitch of 42 degrees.

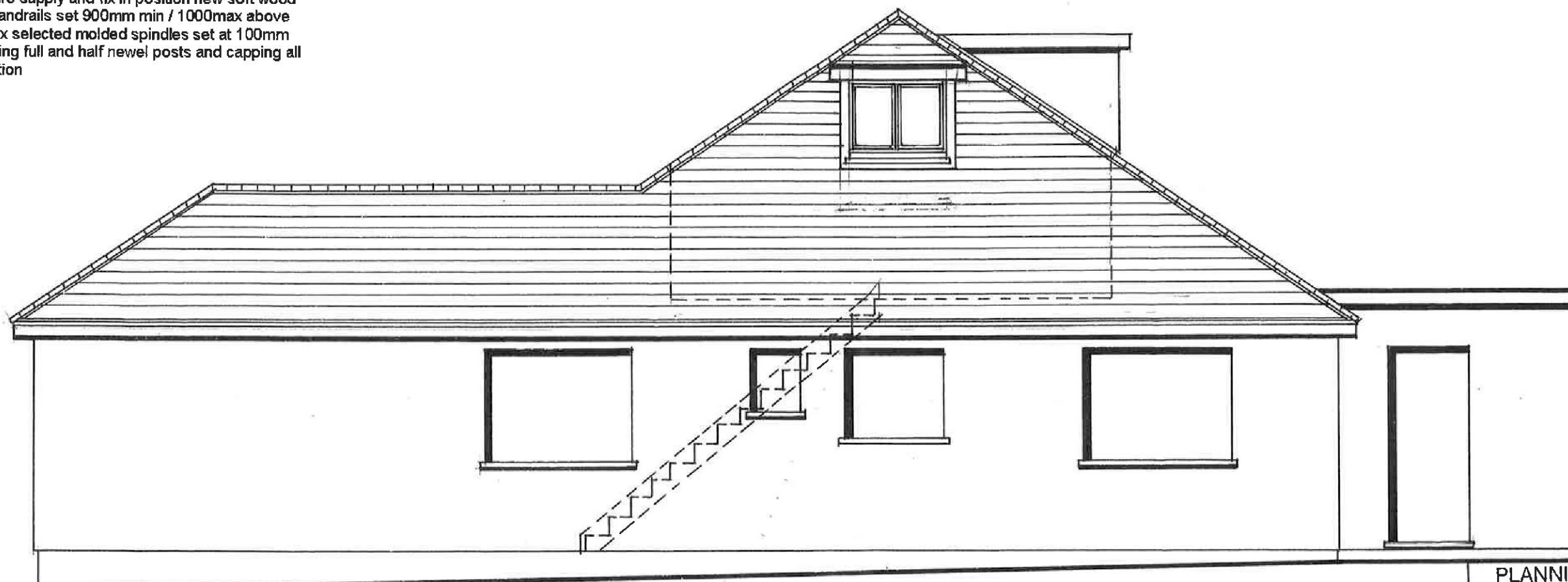
New staircase width to be 650mm between its stringers to be agreed with the Employer and positioned in from the existing so as to provide a reduced Landing level at first floor. Staircase manufacturer to be responsible for confirming all dimensions on site and ensuring all height requirements as stated under the Building Regulations are conformed to. Staircase manufacturer to provide the main contractor with final design of stairs for forwarding to the Building Inspector before construction

Purpose manufacture supply and fix in position new soft wood frogs back profile handrails set 900mm min / 1000max above tread. Supply and fix selected molded spindles set at 100mm centers, and matching full and half newel posts and capping all to Employers selection

1:50

### DORMER WINDOW.

Form 800mm w x 1.1m h size to be confirmed window opening to rear wall of dormer. Allow for incorporating 150 x 75 timber lintels, with all window sizes to be confirmed with the Employer. Supply and install to newly formed openings hermetically sealed Argon filled 16mm double glazed soft coat low E glazed Units within upvc frames affording a U VALUE OF 0.16 W/M2K and complete with trickle ventilation 2500mm2. Provide for top hung opening casement. Windows supplied and installed by specialists appointed by the main contractor who must be FENSA registered and will be responsible for the taking of all on site measurements of the openings formed prior to the ordering and manufacture of all window components.



PROPOSED SIDE ELEV.

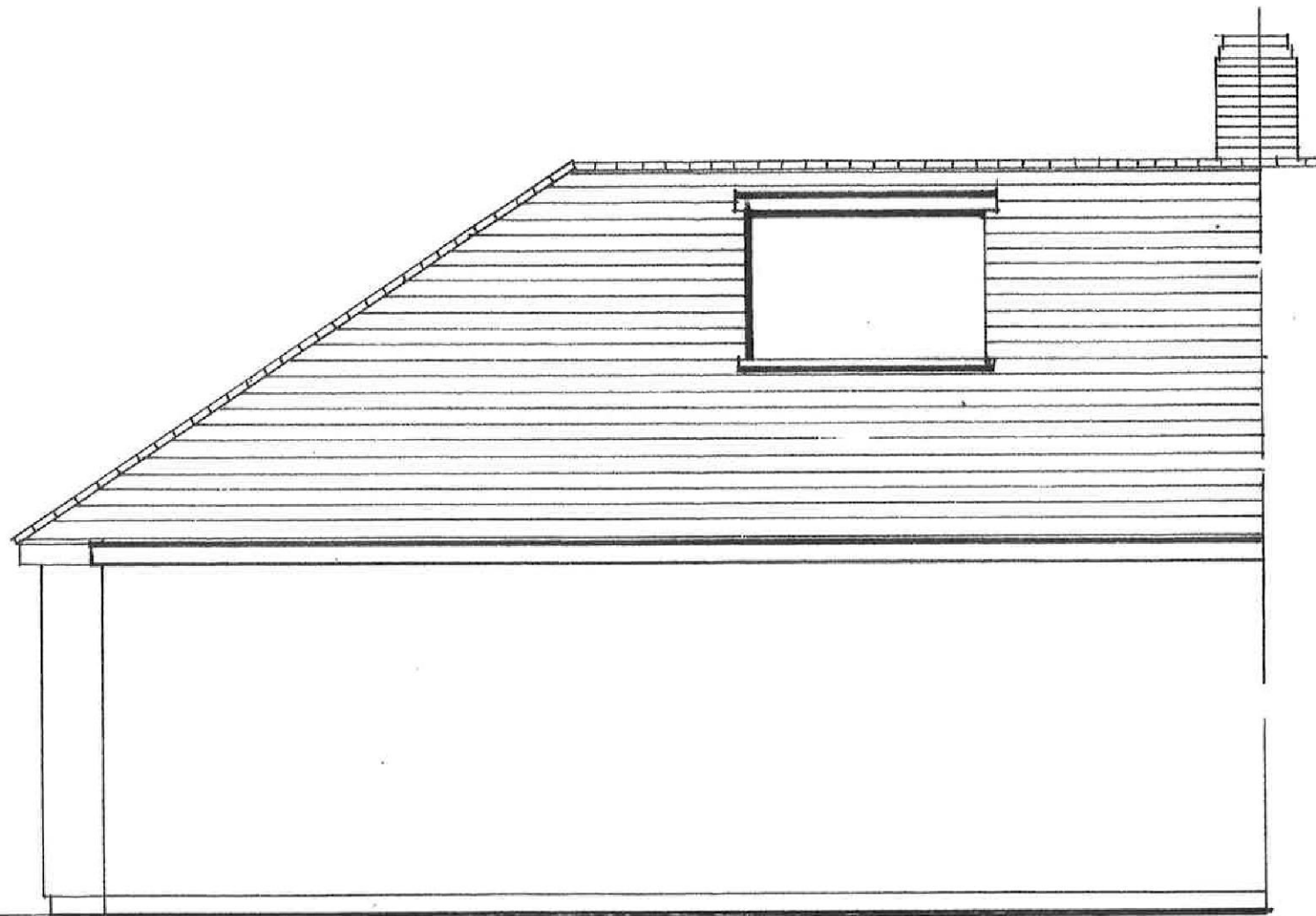
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**PROPOSED SIDE DORMER AT:  
59 CANTERBURY AVENUE CRAMHAM  
RM14 3LD FOR:  
KAREN SMITH and STEVEN GREEN.**

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|----------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Drg. No.<br><b>06/2020</b> | Drawing Title: <b>PROPOSED SIDE<br/>ELEVATION.</b>                                                                                                                                                     |
| Rev:                       | J. Dunne Associates.<br>Architects Building Surveyors<br>394 Wingley Lane Hornchurch Essex RM11 3DB<br>Ph: 01708 450865 Mob: 07631 176210. E-Mail <a href="mailto:dunnejd@aol.com">dunnejd@aol.com</a> |
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EXISTING REARELEV.

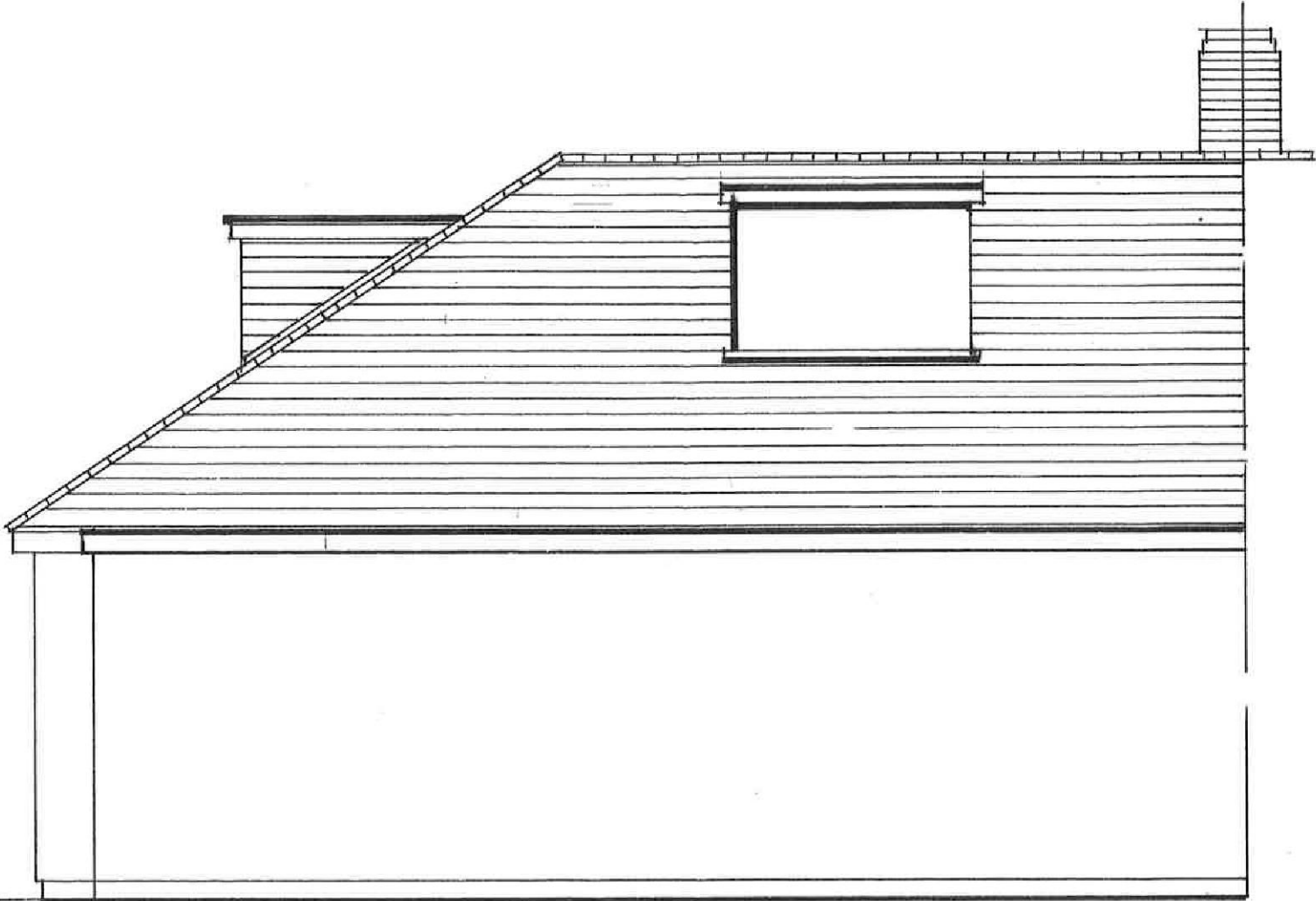
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**PROPOSED SIDE DORMER AT:  
59 CANTERBURY AVENUE GRAMHAM  
RM14 3LD FOR:  
KAREN SMITH and STEVEN GREEN.**

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| <b>Drg. No.</b><br>07/2020 | <b>Drawing Title:</b> <i>EXISTING REAR<br/>ELEVATION.</i>                                                                                                                                                       |
| <b>Rev:</b>                | <b>J. Dunne Associates.</b><br>Architects Building Surveyors<br>394 Wingate Lane Hornchurch Essex RM11 3DB<br>Ph: 01708 490865 Mob: 07831 176210. E-Mail <a href="mailto:dunnejda@aol.com">dunnejda@aol.com</a> |
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P ROPOSED REAR ELEV.

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**PROPOSED SIDE DORMER AT:  
59 CANTERBURY AVENUE CRAMHAM  
RM14 3LD FOR:  
KAREN SMITH and STEVEN GREEN.**

|                            |                                                                                                                                                                                                       |
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| Drg. No.<br><b>08/2020</b> | Drawing Title: <i>PROPOSED REAR<br/>ELEVATION.</i>                                                                                                                                                    |
| Rev:                       | J. Dunne Associates.<br>Architects Building Surveyors<br>394 Wingley Lane Horsham Essex RM11 3DB<br>Ph: 01708 450645 Mob: 07831 176210. E-Mail <a href="mailto:jdunneja@aol.com">jdunneja@aol.com</a> |
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### DIVISIONAL STUDWORK WALLS.

In position indicated and or as agreed with the Employer. Allow for constructing off previously installed floor joists and or double joists 75mm x 50mm softwood timber C16 vertical and horizontal noggin complete with 75mm x 75mm head, base, and door posts. Set vertical members at 400mm centers with timber noggin set staggered.

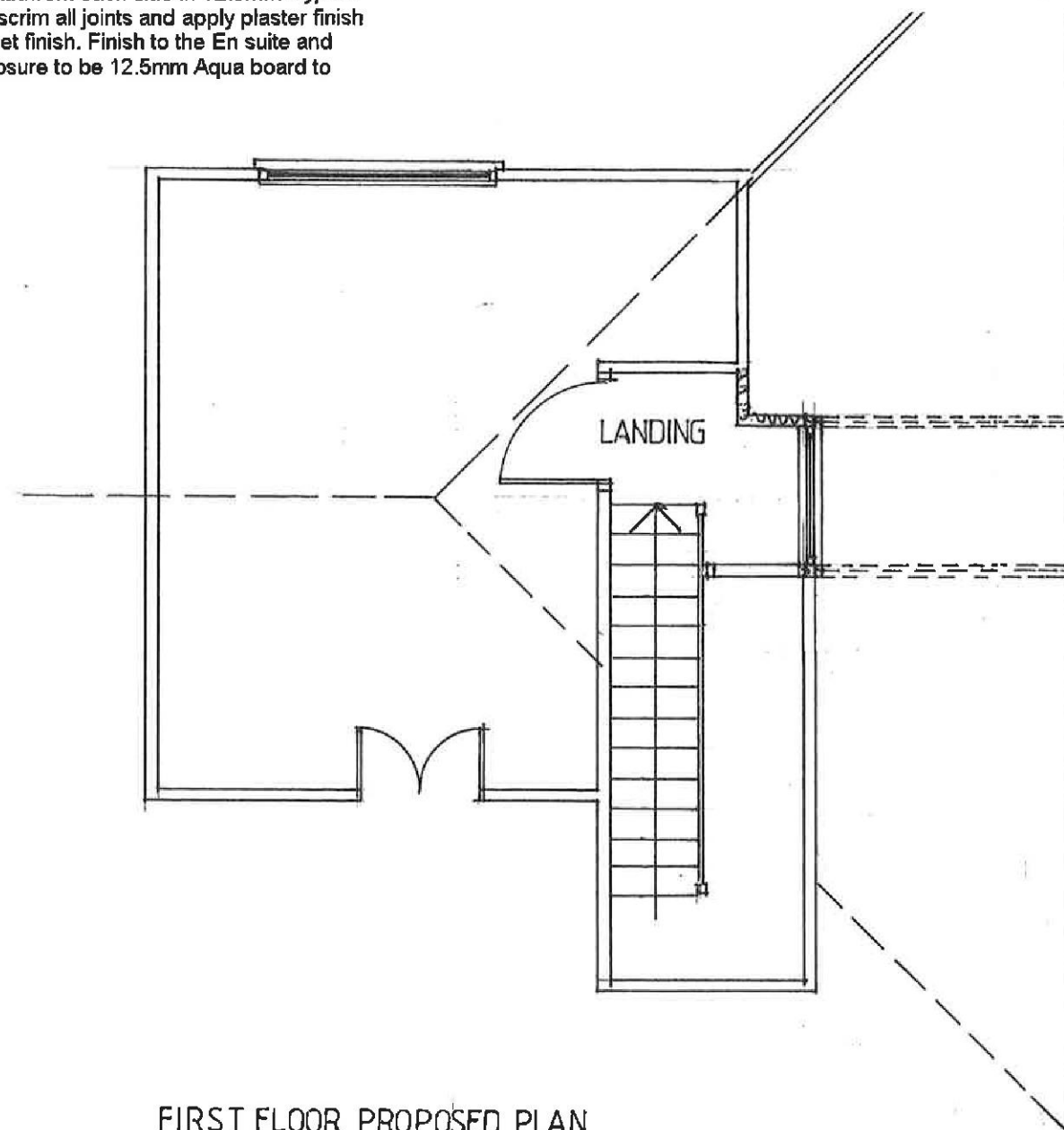
Supply and insert between studs 100mm thick fiberglass quilt insulation, and cover studwork each side in 12.5mm Gyproc plasterboard. Hessian scrim all joints and apply plaster finish throughout with 3mm set finish. Finish to the En suite and within the shower enclosure to be 12.5mm Aqua board to receive tile finish.

### CEILING TO LANDING

Throughout the new and altered Landing area supply and tack in place 12.5mm Gyproc plaster board, hessian scrim all joints and apply 3mm plaster set finish throughout.

### PLASTERING TO NEW STUDWORK WALLS.

Cover studwork each side in 12.5mm Gyproc wall board. Hessian scrim all joints applying plaster finish throughout with 3mm set finish. Include for the installation of Aqua board to the shower enclosure within the Attic En Suite.



FIRST FLOOR PROPOSED PLAN

### DORMER WALLS

In position indicated, remove and set aside existing roof tiles. Cut out existing rafters providing support to retained rafters using double 125 x 75 rafter trimmers. Supply and insert at 400mm centers new 125 x 50 double rafters spiked to retained hip boards and birds mouthed and spiked to external wall plate.

Allow for constructing from double 125 x 50 rafters under each dormer cheek, 100mm x 50mm softwood dormer cheeks in C16 timbers vertical and horizontal noggin complete with 100mm x 75mm head, and base plates. Set vertical timber members at 400mm centers. Set in place 100 x 50mm noggin set staggered.

From existing floor joists similarly construct new face wall of dormer in studwork from 100 x 100 timber plate bolted down. Supply and insert between stud members 75mm thick Celotex GA4075 insulation panels, set flush with the rear of 100 x 50 vertical stud timbers maintaining a 25mm cavity between the face of the insulated panels and the face of the studwork. Supply and fix TB4012 Celotex Insulation with taped joints to form vapor barrier and cover in 12.5mm plaster board hessian scrim all joints and apply plaster finish throughout with 3mm set finish.

To the outer face and cheeks of new dormer supply fix in position 19mm WPB exterior quality resin bonded plywood sheeting. Supply and cover with Tyvek breathable roofing felt breathable roofing felt and spike into position set to suit gauge of new vertical tile hanging 45 x 25 tanalised battens. Cover in new plain concrete tiles to match colour of the new main roof tiled covering allowing for incorporating code 5 lead cover flashing at abutment of dormer face and cheeks with existing roof.

Construction to achieve a U Value of 0.28 W/M2K.

PROPOSED ROOF PLAN

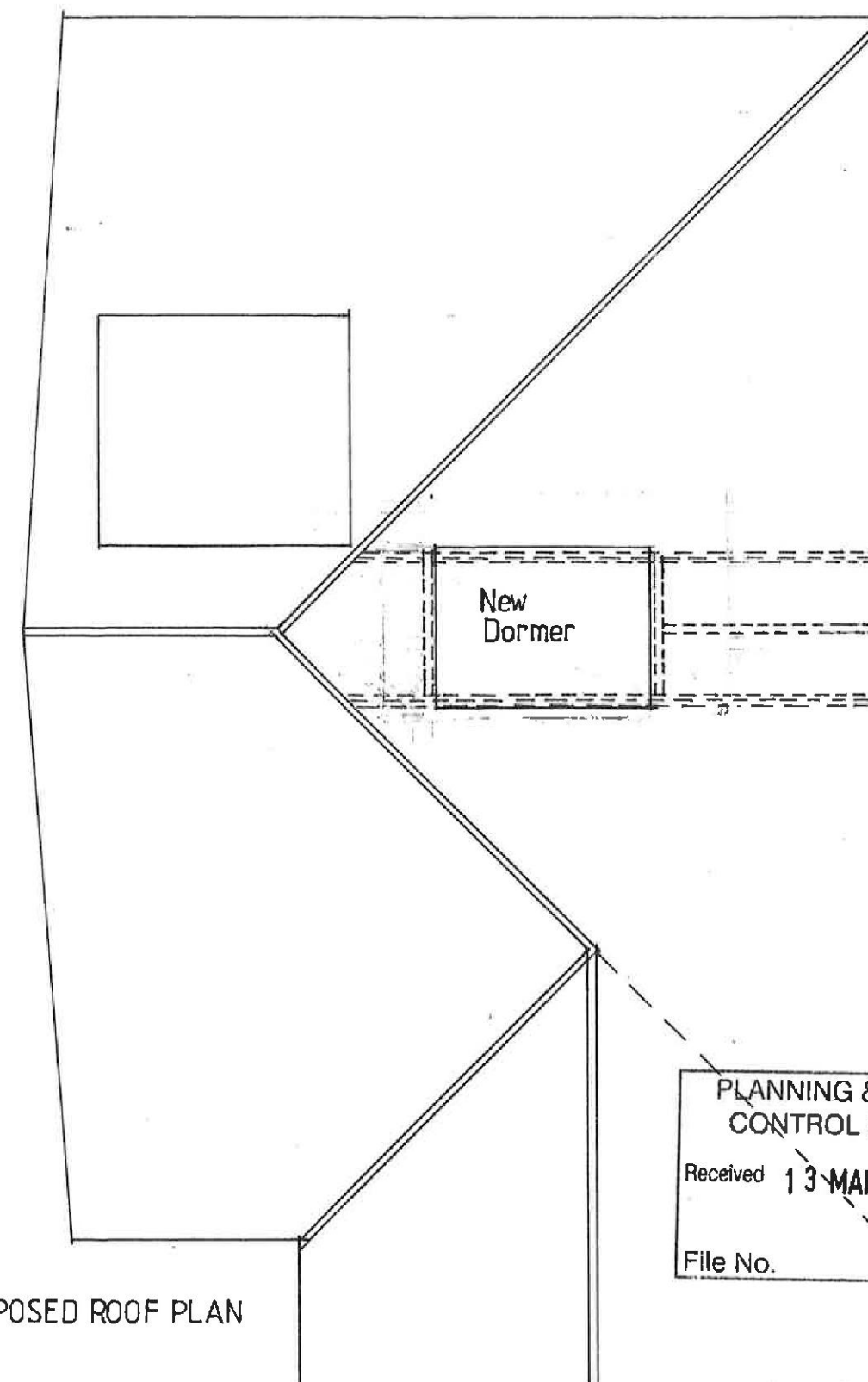
### STAIRWELL OPENING:

Reform stairwell opening and trim around in 2 number 190mm x 75mm softwood timber trimmers bolted together using M10 bolts with ends supported into the front main wall and or to front and rear double trimmers on jiffy hangers. UPON EXPOSURE OF THE EXISTING GAS MAINS SERVICE PIPE ALLOW AS NECESSARY TO TERMINATE SUPPLY AND RE-ROUTE PIPE SO AS TO AVOID THE STAIRWELL AREA.

### STAIRCASE SOFFITS.

The soffit of the new staircase is to be underlined with 15mm Gyproc fire line board to achieve a 30minute fire rating.

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**PROPOSED SIDE DORMER AT:  
59 CANTERBURY AVENUE GRAMHAM  
RM14 3LD FOR:  
KAREN SMITH and STEVEN GREEN.**

|                     |                                                                                                                                                                                                         |
|---------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Drg. No.<br>02/2020 | Drawing Title: <b>PROPOSED FIRST FLOOR<br/>AND PROPOSED ROOF PLANS.</b>                                                                                                                                 |
| Rev:                | J. Dunne Associates.<br>Architects Building Surveyors<br>394 Wingley Lane Horncchurch Essex RM11 3DB<br>Ph: 01708 450665 Mob: 07831 176210. E-Mail <a href="mailto:dunnejd@aol.com">dunnejd@aol.com</a> |
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EXISTING FRONT ELEV.

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| PROPOSED SIDE DORMER AT:<br>69 CANTERBURY AVENUE CRAMHAM<br>RM14 3LD FOR:<br>KAREN SMITH and STEVEN GREEN. |                                                                                                                                                                                                          |
| Drg. No.<br>03/2020                                                                                        | Drawing Title: <i>EXISTING FRONT<br/>ELEVATION.</i>                                                                                                                                                      |
| Rev:                                                                                                       | J. Dunne Associates.<br>Architects Building Surveyors<br>394 Wingletye Lane Hornchurch Essex RM11 3DB<br>Ph: 01708 490865 Mob: 07831 176210. E-Mail <a href="mailto:dunnejd@aol.com">dunnejd@aol.com</a> |
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**ROOF TO DORMER.**

Supply and set into position at 400mm crs. 125mm x 50mm C24 tanalised roof joists to BS 4471 complete with 125mm x 50mm solid bridging with joists birds mouthed and spiked to 100 x 75 timber wall plate on rear dormer wall and set into and fixed to joist hangers in turn spiked to 125 x 75 double rafter trimmers.

Provide for lateral restraint to joists using reduced 1200mm long Bat restraint straps set at 500 centres to **British Standard Code of Practice 3**. Supply and cut to provide falls, tanalised timber firings spiked to tops of joists and to provide a 1:80 minimum fall to the side.

Form Warm roof construction supplying and covering roof joists in 2 number layers of 90m GA3000 and or GA4000 Celotex Insulation system for WARM DECK FLAT ROOF installed in accordance with manufacturer's instructions and requirements.

Supply and lay a 3G felt base layer partially bonded to wpb decking and supply and lay three layers of high performance built up felt forming fillet upstand at all perimeters with all felt covering to BS 747. Allow for running felt up at main roof abutment and incorporate code No 5 lead cover flashing.

Provide for water runoff and a fall of 1:80 from flat roof to discharge into 100mm half round upvc guttering to the side with 65mm dia upvc downpipe to discharge over lead slate to main roof.

**Construction to achieve a U VALUE OF 0.18 W/M2K**

**SLOPING ROOF INSULATION WHERE RELEVANT.**

Provide for the supply and installation of 50mm Celotex GA4050 set between existing retained rafters and new rafters. Maintain a 50mm ventilation gap from the back of the insulation to the new breathable roofing felt. Supply and install setting between rafters 70 mm Celotex GA4070 insulation fixed in accordance with manufacturer's instructions.

Supply and fix to the ends of all existing rafters 45mm x 25mm counter battens to increase rafter depth level with the second layer of insulation and the underside of the new rafters and cover with 12.5mm Gyproc plaster board, hessian scrimmed and plaster set throughout. Combined construction to achieve a U Value of 0.18W/M2 K.



PROPOSED FRONT ELEV.

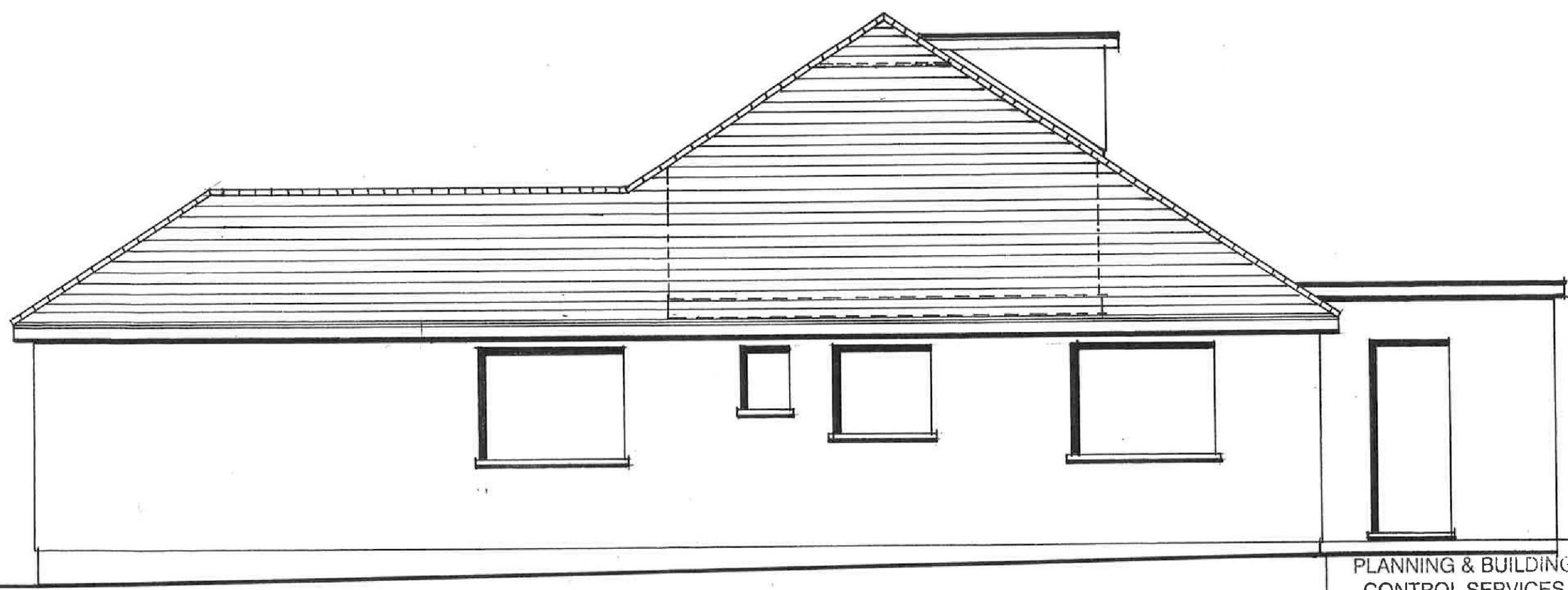
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**PROPOSED SIDE DORMER AT:  
59 CANTERBURY AVENUE CRAMHAM  
RM14 3LD FOR:  
KAREN SMITH and STEVEN GREEN.**

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| <b>Drg. No.</b><br>04/2020 | <b>Drawing Title:</b> PROPOSED FRONT ELEVATION.                                                                                                                                                                   |
| <b>Rev:</b>                | <b>J. Dunne Associates.</b><br>Architects Building Surveyors<br>394 Wingletye Lane Hornchurch Essex RM11 3DB<br>Ph: 01708 450865 Mob: 07831 176210. E-Mail <a href="mailto:dunnejda@aol.com">dunnejda@aol.com</a> |
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EXISTING SIDE ELEV

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| <b>PROPOSED SIDE DORMER AT:<br/>59 CANTERBURY AVENUE CRAMHAM<br/>RM14 3LD FOR:<br/>KAREN SMITH and STEVEN GREEN.</b> |                                                                                                                                                                                                                |
| <b>Drg. No.</b><br><b>05/2020</b>                                                                                    | <b>Drawing Title:</b> <i>EXISTING SIDE<br/>ELEVATION.</i>                                                                                                                                                      |
| <b>Rev:</b>                                                                                                          | <b>J. Dunne Associates.</b><br>Architects Building Surveyors<br>394 Wingetys Lane Hornchurch Essex RM11 3DB<br>Ph: 01708 450865 Mob: 07831 176210. E-Mail <a href="mailto:dunnejd@aol.com">dunnejd@aol.com</a> |
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